



DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.

To be completed by Applicant	PROPERTY LOCATION		
	Physical Address 40001 Glacier Hwy		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) USS 2925 Lot 1		
	Parcel Number(s) 3-B45-0-100-004-1		
	<input type="checkbox"/> This property is located in the downtown historic district <input type="checkbox"/> This property is located in a mapped hazard area, if so, which _____		
	LANDOWNER/ LESSEE		
	Property Owner Gospel Missionary Union		Contact Person Randy Alderfer
	Mailing Address PO Box 210608, Auke Bay, AK 99821		Phone Number(s) (907) 723-2998 (907) 789-3777
	E-mail Address echoranchoffice@avmi.org		
	LANDOWNER/ LESSEE CONSENT Required for Planning Permits, not needed on Building/ Engineering Permits. Consent is required of all landowners/ lessees. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner/ lessee's printed name, signature, and the applicant's name. I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows: A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission. B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application. Randy Alderfer Landowner/Lessee (Printed Name) Camp Director Title (e.g.: Landowner, Lessee) X _____ Landowner/Lessee (Signature) 5/5/25 Date _____ Landowner/Lessee (Printed Name) _____ Title (e.g.: Landowner, Lessee) X _____ Landowner/Lessee (Signature) _____ Date NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.		
APPLICANT If same as LANDOWNER, write "SAME" Applicant (Printed Name) Same Contact Person _____ Mailing Address _____ Phone Number(s) _____ E-mail Address _____ Applicant's Signature _____ Date of Application 5/5/25			

DEPARTMENT USE ONLY BELOW THIS LINE

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Intake Initials JM	Case Number USE25-009
Date Received 5/15/2025	



ALLOWABLE/CONDITIONAL USE PERMIT APPLICATION

See reverse side for more information regarding the permitting process and the materials required for a complete application.

NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.

To be completed by Applicant

PROJECT SUMMARY

Construction of new Staff Cabins at Echo Ranch Bible Camp and upgrades to existing facilities, including remodels and new facilities for growth.

TYPE OF ALLOWABLE OR CONDITIONAL USE PERMIT REQUESTED

☐ Accessory Apartment – Accessory Apartment Application (AAP)

☒ Use Listed in 49.25.300 – Table of Permissible Uses (USE)

Table of Permissible Uses Category: RR Zone 1 or 3

IS THIS A MODIFICATION or EXTENSION OF AN EXISTING APPROVAL?

☒ YES – Case # USE2015 0011

☐ NO

UTILITIES PROPOSED

WATER: ☐ Public ☒ On Site

SEWER: ☐ Public ☒ On Site

SITE AND BUILDING SPECIFICS

Total Area of Lot 6,751,800 square feet Total Area of Existing Structure(s) --- square feet

Total Area of Proposed Structure(s) --- square feet

EXTERNAL LIGHTING

Existing to remain

☒ No

☐ Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures

Proposed

☒ No

☐ Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures

ALL REQUIRED DOCUMENTS ATTACHED

☒ Narrative including:

- ☒ Current use of land or building(s)
- ☒ Description of project, project site, circulation, traffic etc.
- ☒ Proposed use of land or building(s)
- ☒ How the proposed use complies with the Comprehensive Plan

If this is a modification or extension include:

- ☒ Notice of Decision and case number
- ☒ Justification for the modification or extension
- ☐ Application submitted at least 30 days before expiration date

☐ Plans including:

- ☐ Site plan
- ☐ Floor plan(s)
- ☐ Elevation view of existing and proposed buildings
- ☐ Proposed vegetative cover
- ☐ Existing and proposed parking areas and proposed traffic circulation
- ☐ Existing physical features of the site (e.g.: drainage, habitat, and hazard areas)

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

ALLOWABLE/CONDITIONAL USE FEES

	Fees	Check No.	Receipt	Date
Application Fees	\$ <u>500</u>			
Admin. of Guarantee	\$ _____			
Adjustment	\$ _____			
Pub. Not. Sign Fee	\$ <u>50</u>			
Pub. Not. Sign Deposit	\$ <u>100</u>			
Total Fee	\$ <u>650.00</u>			

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Case Number

USE25-009

Date Received

5/19/2025

Allowable/Conditional Use Permit Application Instructions

Allowable Use permits are outlined in CBJ 49.15.320, Conditional Use permits are outline in CBJ 49.15.330

Pre-Application Conference: A pre-application conference is required prior to submitting an application. There is no fee for a pre-application conference. The applicant will meet with City & Borough of Juneau and Agency staff to discuss the proposed development, the permit procedure, and to determine the application fees. To schedule a pre-application conference, please contact the Permit Center at 586-0770 or via e-mail at permits@juneau.org.

Application: An application for an Allowable/Conditional Use Permit will not be accepted by the Community Development Department until it is determined to be complete. The items needed for a complete application are:

1. **Forms:** Completed Allowable/Conditional Use Permit Application and Development Permit Application forms.
2. **Fees:** Fees generally range from \$350 to \$1,600. Any development, work, or use done without a permit issued will be subject to double fees. All fees are subject to change.
3. **Project Narrative:** A detailed narrative describing the project.
4. **Plans:** All plans are to be drawn to scale and clearly show the items listed below:
 - A. Site plan, floor plan and elevation views of existing and proposed structures
 - B. Existing and proposed parking areas, including dimensions of the spaces, aisle width and driveway entrances
 - C. Proposed traffic circulation within the site including access/egress points and traffic control devices
 - D. Existing and proposed lighting (including cut sheets for each type of lighting)
 - E. Existing and proposed vegetation with location, area, height and type of plantings
 - F. Existing physical features of the site (i.e. drainage, eagle trees, hazard areas, salmon streams, wetlands, etc.)

Document Format: All materials submitted as part of an application shall be submitted in either of the following formats:

1. Electronic copies in the following formats: .doc, .txt, .xls, .bmp, .pdf, .jpg, .gif, .xlm, .rtf (other formats may be preapproved by the Community Development Department).
2. Paper copies 11" X 17" or smaller (larger paper size may be preapproved by the Community Development Department).

Application Review & Hearing Procedure: Once the application is determined to be complete, the Community Development Department will initiate the review and scheduling of the application. This process includes:

Review: As part of the review process the Community Development Department will evaluate the application for consistency with all applicable City & Borough of Juneau codes and adopted plans. Depending on unique characteristics of the permit request the application may be required to be reviewed by other municipal boards and committees. During this review period, the Community Development Department also sends all applications out for a 15-day agency review period. Review comments may require the applicant to provide additional information, clarification, or submit modifications/alterations for the proposed project.

Hearing: All Allowable/Conditional Use Permit Applications must be reviewed by the Planning Commission for vote. Once an application has been deemed complete and has been reviewed by all applicable parties the Community Development Department will schedule the requested permit for the next appropriate meeting.

Public Notice Responsibilities: Allowable/Conditional Use requests must be given proper public notice as outlined in CBJ 49.15.230:

The Community Development Department will give notice of the pending Planning Commission meeting and its agenda in the local newspaper a minimum of 10-days prior to the meeting. Furthermore, CDD will mail notices to all property owners within 500-feet of the project site.

The Applicant will post a sign on the site at least 14 days prior to the meeting. The sign shall be visible from a public right-of-way or where determined appropriate by CDD. Signs may be produced by the Community Development Department for a preparation fee of \$50, and a \$100 deposit that will be refunded in full if the sign is returned within seven days of the scheduled hearing date. If the sign is returned between eight and 14 days of the scheduled hearing \$50 may be refunded. The Applicant may make and erect their own sign. Please contact the Community Development Department for more information.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Echo Ranch Bible Camp
P.O. Box 210608
Auke Bay, AK 99821
(907)789-3777



Echo Ranch Future Projects Narrative

This is a modification to the Conditional Use Permit: USE2015 0011. We want to modify this permit because we at Echo Ranch Bible Camp are looking to expand some of our facilities. We are looking to expand to not only accommodate growth both with staff and volunteers but also for opportunities to serve the community of Juneau.

We are looking at building more lodging facilities for staff, including but not limited to 3 staff cabins. Three cabins will be two-bedroom facilities, which have been in the permit process, and others in the future will be similar to these approved and also the staff cottages on the USE2015 0011.

We are also looking to expand or grow in many of our current areas. These expansions or new buildings will by no means take away from the beautiful scenery that we have on our 300 acres.

Such expansions include our dining facilities, chapel facilities, horse facilities, shops and equipment sheds, recreational facilities, sawmill facilities. Upgrades or remodels will include a remodel to our current Mountain View Lodge, new office building, new camper cabins, and new bathhouses.

We also are planning on doing a complete electrical system and infrastructure upgrade that will be locally engineered by Morris Engineering.

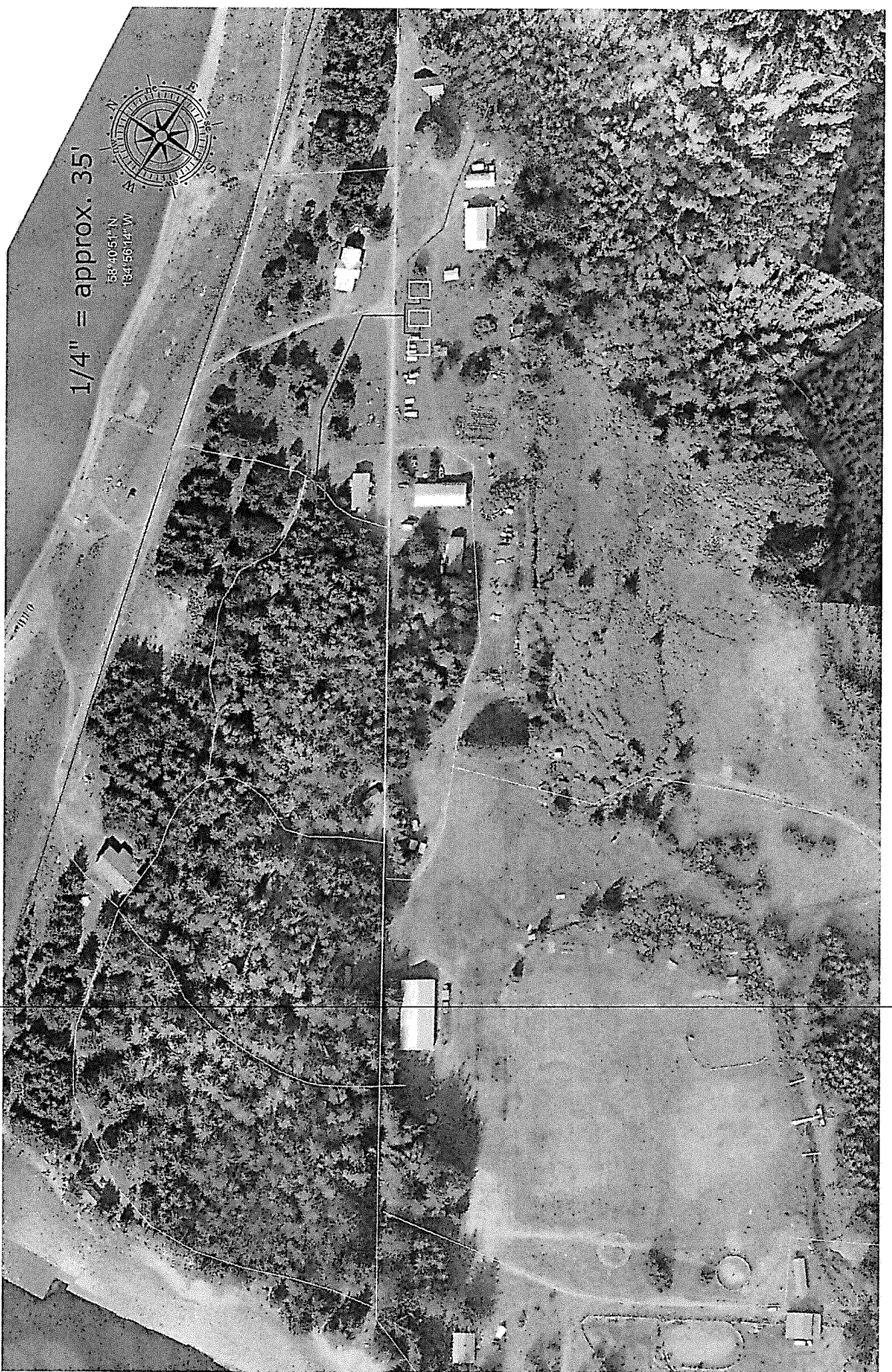
As we grow and expand to meet the needs of our community, we will be mindful of how these will impact not only our property, but also Echo Cove and Berners Bay. As our facilities grow, we will continue to use our current system of producing our own power through generator, unless other opportunities arise. We will also continue to produce and treat our own water through our wells and water treatment facilities. With our expansion of facilities, if they are needing septic systems, will be engineered by local engineers.

Our future expansions are still in the planning and visioning stages and we will continue to look to and follow the city's recommendations and guidelines for these facilities, particularly in regards to the zoning and fema flood designations.

We will make sure that these future developments do not in any way increase the parking at Echo Cove. Noise from the construction itself and from adding additional facilities will by no means impact others due to our isolated location. As the needs arise to grow in certain areas, we will provide the city with site plans and other plans, including engineered plans as needed for each project and individual building permits.

1/4" = approx. 35'

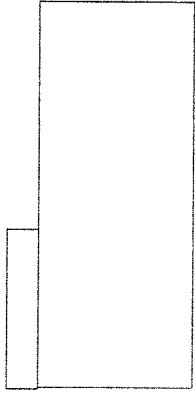
58°40'54"N
134°56'14"W



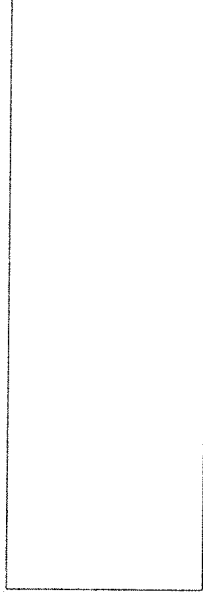
Outhouse



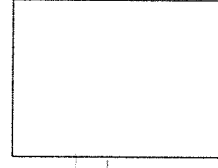
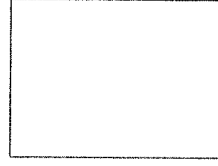
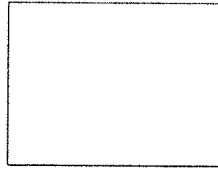
Hay
Barn



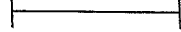
Pop's
Garden



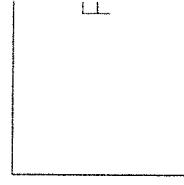
20' - 30'
between cabins



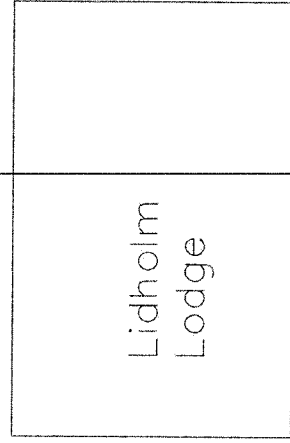
25' Setback
from road



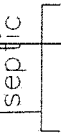
New Staff Cabins



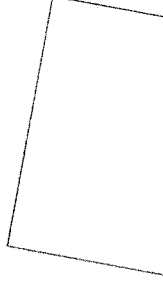
Lidholm
Lodge



septic



Valley



ABBREVIATIONS:

a.a. attic access
a.f.f. above fin. floor
a.f.g. above fin. grade
anch. anchor
approx. approximately
asph. asphalt
bas. base
bd. board
bldg. building
bm. beam
bot. bottom
bet. between
cab. cabinet
cant. cantilever
cath. cathedral
c.o. cased opening
ceil. ceiling
cer. ceramic
clo. closet
c.m.u. masonry unit
col. column
conc. concrete
const. construction
cont. continuous
contr. control
dbl. double
det. detail
dia. diameter
diag. diagonal
dim. dimension
dr. door
dry. dryer
d.w. dishwasher
dwg. drawing

dwn. down
ea. each
elect. electrical
elev. elevation
eq. equal
equip. equipment
exist. existing
exp. expansion
ext. exterior
fan. foundation
fib. fiberglass
fin. finish
fixt. fixture
flor. floor
fluor. fluorescent
f.p. fireplace
ft. foot
fig. footing
ga. gauge
g.d. garbage disposal
galv. galvanized
garden garden
gen. general
gl. glass
glued & screwed
g.l.l. gas log lighter
gyp. gypsum
h.b. hose bibb
horiz. horizontal
h.v.a.c. heat/air cond.
i.b. ironing board
inch. inch
inter. interior
ins. insulation

jt. joint
jst. joist
lav. lavatory
lev. level
lin. linen
manuf. manufacturer
max. maximum
mech. mechanical
micro. microwave
min. minimum
misc. miscellaneous
no. number
nom. nominal
n.t.s. not to scale
o.c. on center
o.d. outside dia.
o.h. overhead
opng. opening
pantry pantry
p.d. pull down
pl. plate
p.t. pressure treated
rafter rafter
refri. refrigerator
reg. regular
reinf. reinforced
req'd. required
rm. room
sched. schedule
sect. section
sht. sheet
shwr. shower
sim. similar
sky. skylight

spec. specification
std. standard
struct. structural
susp. suspended
top & bottom top & bottom
threads threads
tongue & groove tongue & groove
top of concrete top of concrete
tel. telephone
telev. television
thru. through
transom transom
typ. typical
unless noted otherwise unless noted otherwise
vert. vertical
washer washer
w/. with
w.c. water closet
w.h. water heater
w.p. waterproof
w.r. water resistant
w.w.m. welded wire mesh

GENERAL NOTES:

- 1- These plans were designed and drafted for Echo Ranch to meet the average conditions and codes in the state of Alaska.
- 2-It is the responsibility of the General Contractor and Subs to see that the structure is built in strict compliance with all governing municipal codes (city, county, state and federal).
- 3-All the drawings and specification listed shall be worked concurrently. If a conflict exist between drawings and specification, the most stringent shall take precedence.

SPECIFICATION:

Residential Specification --- ECH 1234

DRAWING SERIES:

Sheet G1 - General Notes
Sheet S1 - Foundation Plan
Sheet S2 - Foundation Details
Sheet A1 - Floor Plan
Sheet A2 - Stud Walls Location Plan
Sheet A3 - Typical Section View
Sheet A4 - Exterior Elevations
Sheet M1 - HVAC & Plumbing Plan
Sheet E1 - Electrical Plan

ECHO RANCH
BIBLE CAMP
FACILITIES OFFICE

CLIENT: ECHO RANCH BIBLE CAMP

DESIGNER: jd

SCALE: none

DWG#: ECH1

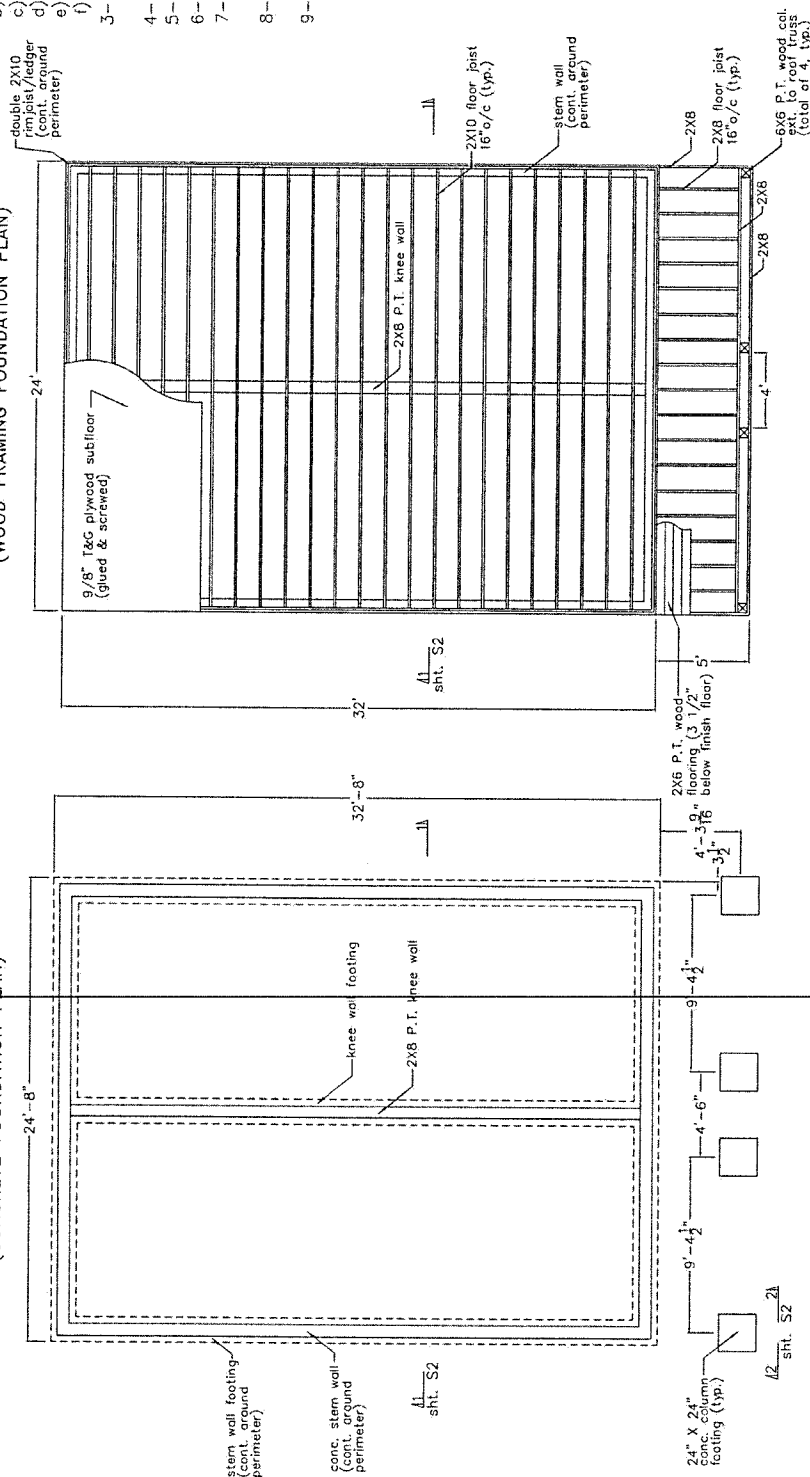
SHEET: G1

NOTES:

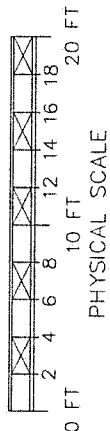
- 1- Work this dwg. with dwgs. listed on sheet G1.
- 2- Embedded anchor bolts (J) shall be A36 and installed as follows:
 - a) min. of 5/8" dia.
 - b) min. of 7" embedment.
 - c) centered on the sill plates.
 - d) max. of 6'-0" o.c.
 - e) min. of 12" from each end of the sill plates.
- 3- Concrete compressive strength shall be a minimum of 3000 p.s.i. at 28 days.
- 4- All rebar shall be a minimum of grade 40.
- 5- Rebar coverage shall be 3" minimum.
- 6- All lap splices shall be a min. of 40 bar dia.
- 7- Height of concrete walls shall be determined from the elevation of the plywood subfloor.
- 8- Simpson ties, hangers and hardware shall be used as necessary to meet all building codes.
- 9- For information not shown or not specified see job specification.

(CONCRETE FOUNDATION PLAN)

(WOOD FRAMING FOUNDATION PLAN)



FOUNDATION PLAN
(SCALE 5/32" = 1'-0")



CLIENT: ECHO RANCH BIBLE CAMP

DESIGNER: jd

SCALE: as noted

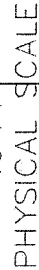
DWG#: ECH1 SHEET: S1

ECHO RANCH
BIBLE CAMP
FACILITIES OFFICE

- 1- Work this dwg. with dwgs. listed on sheet G1.
- 2- Embedded anchor bolts (J) shall be A36 and installed as follows:
 - a) min. of 5/8" dia.
 - b) min. of 7" embedment.
 - c) centered on the sill plates.
 - d) max. of 6'-0" o.c.
 - e) min. of 2 per pieces of sill plates.
 - f) max. of 12" from each end of the sill plates.
- 3- Concrete compressive strength shall be a minimum of 3000 p.s.i. at 28 days.
- 4- All rebar shall be a minimum of grade 40.
- 5- Rebar coverage shall be 3" minimum.
- 6- All lap splices shall be a min. of 40 bar dia.
- 7- Height of concrete walls shall be determined from the elevation of the plywood subfloor.
- 8- Simpson ties, hangers and hardware shall be used as necessary to meet all building codes.
- 9- For information not shown or not specified see job specification.



FOUNDATION DETAILS
(SCALE 5/16" = 1'-0")



ECHO RANCH
BIBLE CAMP
FACILITIES OFFICE

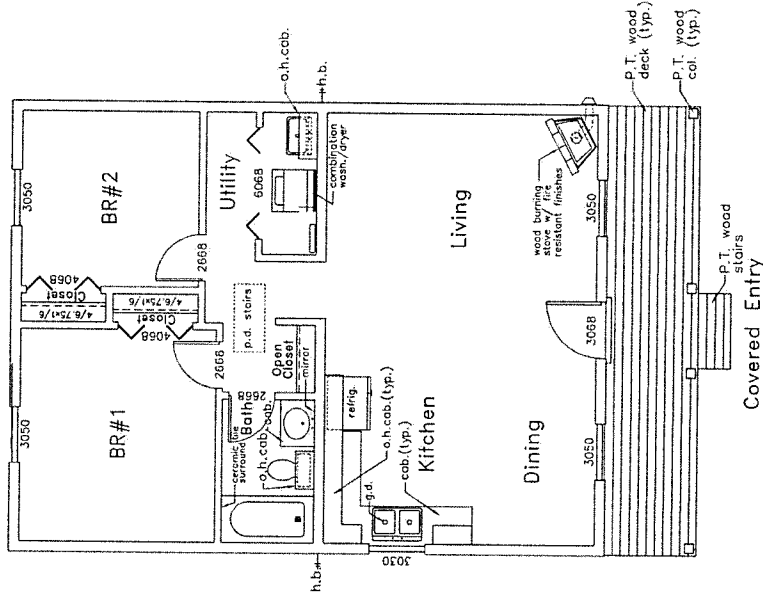
CLIENT: ECHO RANCH BIBLE CAMP	DESIGNER: jd
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SCALE: as noted

DWG#:	ECH1	SHEET: S2
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NOTES:

- 1-Work this drawing with drawings listed on sheet G1.
- 2-All walls shown are finished walls. For stud wall locations, see Stud Wall Location drawing.
- 3-For P.T. wood railing see Elevation drawing.



FLOOR PLAN
(SCALE 5/32" = 1'-0")

ECHO RANCH
BIBLE CAMP
FACILITIES OFFICE

DWG#: ECH1 SHEET: A1

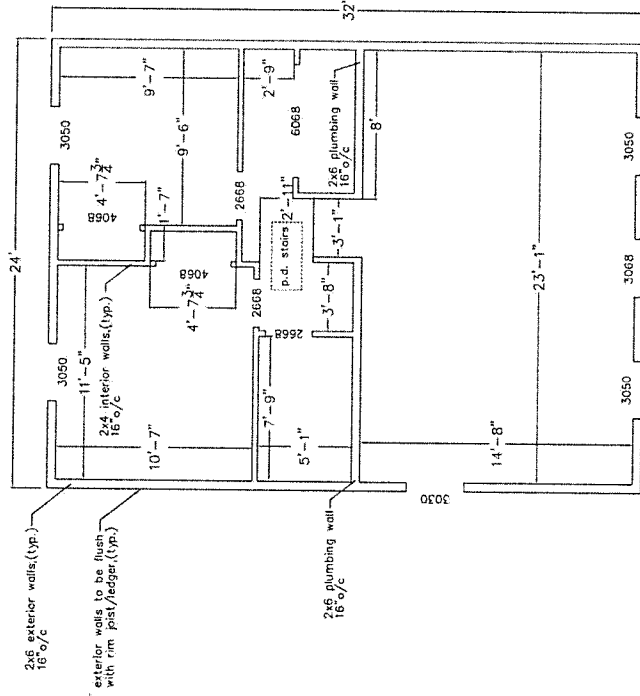
SCALE: as noted

DESIGNER: jd

CLIENT: ECHO RANCH BIBLE CAMP

NOTES:

- 1-Work this drawing with drawings listed on Sheet G1. For door and window sizes, see Floor Plan drawing.
- 2-All exterior walls shown are 2x6 (nom.) unless noted otherwise and are 8'-1" tall & 16" o/c.
- 3-All interior walls shown are 2x4 (nom.) unless noted otherwise and are 8'-1" tall & 16" o/c.
- 4-All plumbing walls shown are 2x6 (nom.) unless noted otherwise and are 8'-1" tall & 16" o/c.
- 5-All dimensions are from face of studs to face of studs (u.o.o.). Edge of exterior studs are located flush with 2X10 rim joist/ledger.
- 6-All windows and doors are to be centered in the rooms, closets, or openings unless otherwise shown.
- 7-All windows and doors located adjacent to intersecting walls shall have enough clearances for proper installation of finish trim.
- 8-As shown on Elevation drawing, those windows, transoms and doors that receive wood trim, shall be installed with proper clearances for the wood trim.
- 9-Framing dimensions for plumbing fixtures, mechanical and electrical components shall be per the detail manufacturer's instructions with proper interface between crafts.
- 10-Framing dimensions for wood burning stove shall be per manufacturer's instructions and details. All required clearances to combustible material shall be maintained.
- 11- All framing shall be in accordance with all hurricane and wind loading codes and standards.



STUD WALLS LOCATION PLAN
(SCALE 5/32" = 1'-0")

ECHO RANCH
BIBLE CAMP
FACILITIES OFFICE

CLIENT: ECHO RANCH BIBLE CAMP

DESIGNER: jd

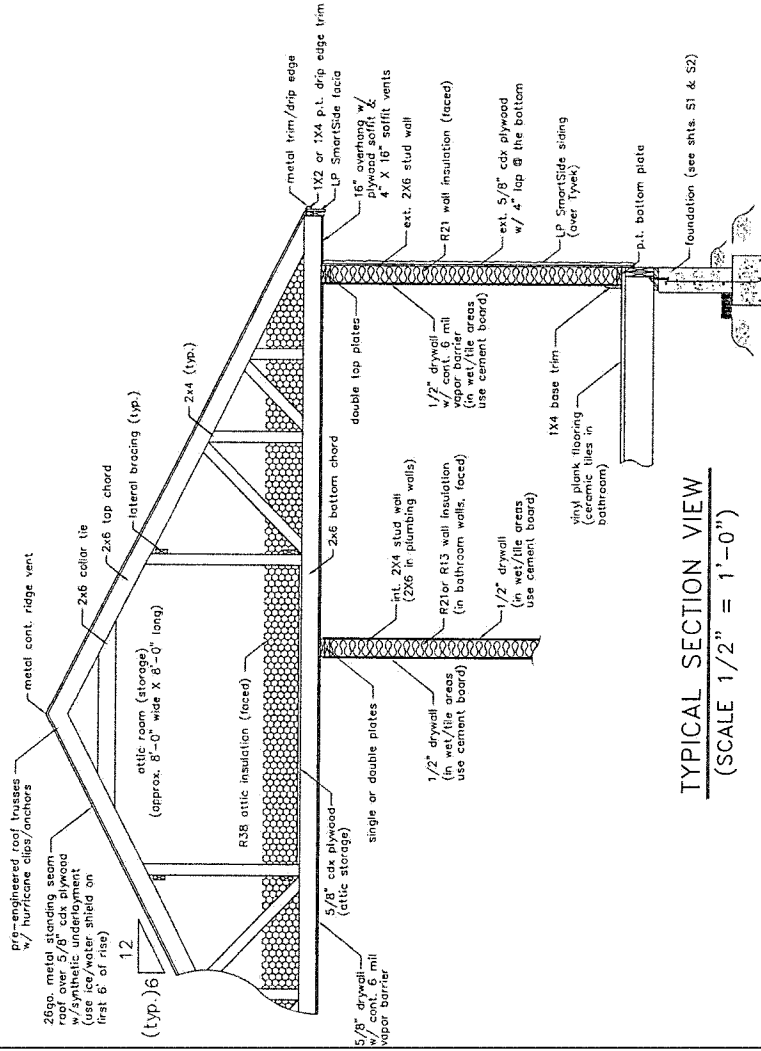
SCALE: as noted

DWG#: ECH1

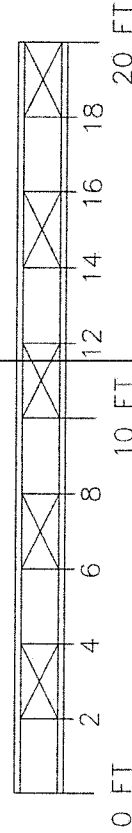
SHEET: A2

NOTES:

1-Work this drawing with drawings listed on sheet G1.



TYPICAL SECTION VIEW
(SCALE 1/2" = 1'-0")



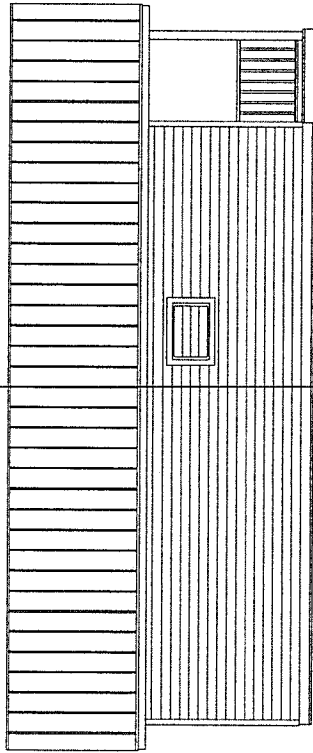
PHYSICAL SCALE

ECHO RANCH
BIBLE CAMP
FACILITIES OFFICE

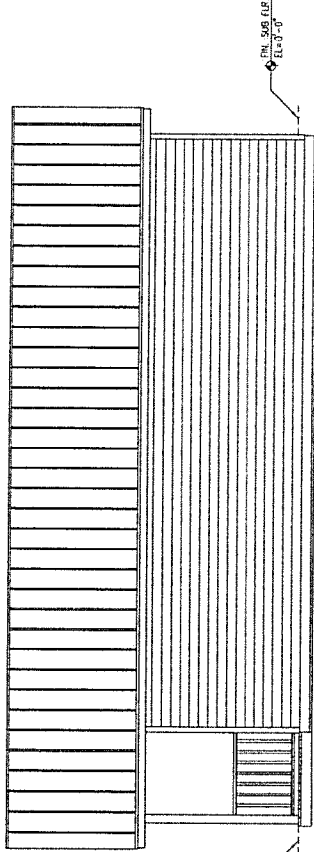
CLIENT: ECHO RANCH BIBLE CAMP DESIGNER: jd

SCALE: as noted

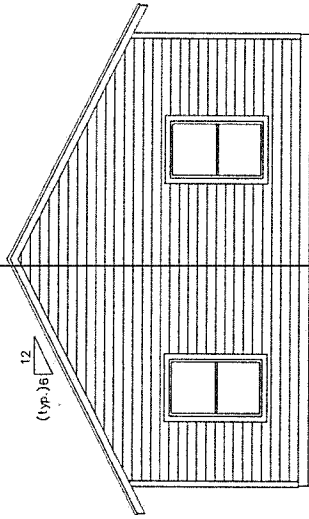
DWG#: ECH1 SHEET: A3



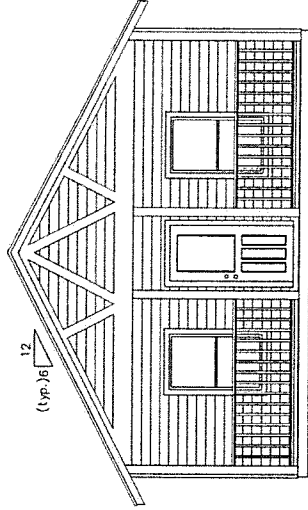
L. SIDE ELEVATION
(stairs not shown for clarity)



R. SIDE ELEVATION
(stairs not shown for clarity)



REAR ELEVATION
(stairs not shown for clarity)



FRONT ELEVATION
(stairs not shown for clarity)

NOTES:

- 1-Work this drawing with drawings listed on sheet G1.
- 2-All windows, doors, and end/edge trim shall be 1X4 LP SmartSide.
- 3-Fascia trim shall be 1X6 LP SmartSide.
- 4-Siding shall be LP SmartSide.
- 5-All deck, railing & stair material shall be pressure treated lumber.



(SCALE 5/32" = 1'-0")

ECHO RANCH
BIBLE CAMP
FACILITIES OFFICE

CLIENT: ECHO RANCH BIBLE CAMP

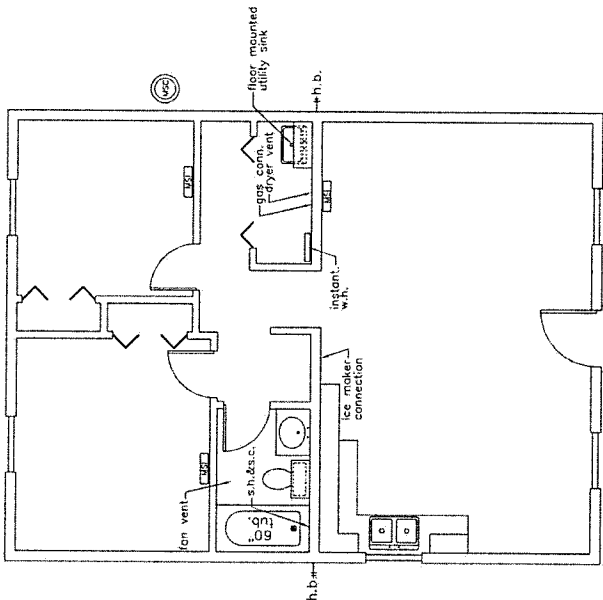
DESIGNER: jd



SCALE: as noted

DWG#: ECH1 SHEET: A4

NOTES:

- 1-Work this drawing with drawings listed on sheet G1.
- 2-Finish walls are shown, for specific stud wall location and sizes see stud wall location drawing.
- 3-Installation of components shall be coordinated with concrete, framing, electrical and other subcontractors.
- 4-For specific component sizes and location see manufacturer's data.
- 5-For additional information not shown see floor plan drawing.
- 6-Plumbing abbreviations:
s.c.-shower controls location
s.h.-shower head location



H.V.A.C. LEGEND	
	mini-split condensing unit
	mini-split inside unit

PLUMBING/HVAC PLAN
(SCALE 5/32" = 1'-0")

ECHO RANCH
BIBLE CAMP
FACILITIES OFFICE

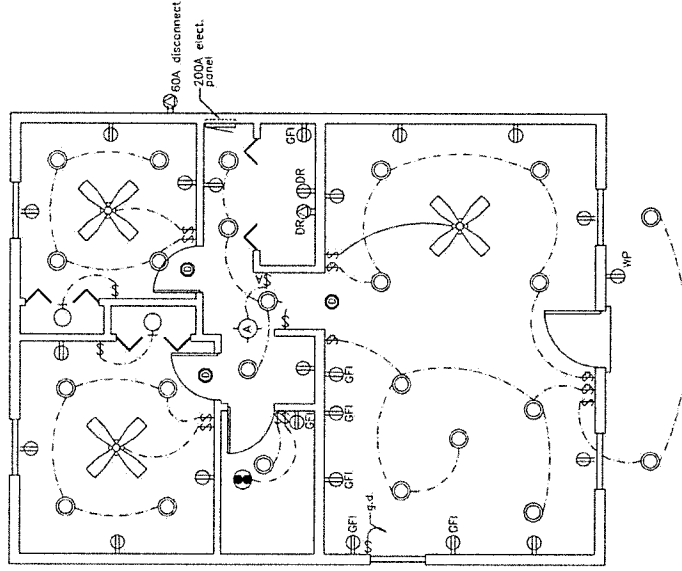
DESIGNER: jd

SCALE: as noted

DWG#: ECH1 SHEET: M1

NOTES:

- 1-Work this drawing with drawings listed on sheet G1.
- 2-All outlets shown shall be located 16" a.f.f. except at cabinet areas and Kitchen where they shall be 42" a.f.f.
- 3-Specialty outlets shall be located as determined by the appliances.
- 4-All switches shown shall be located 42" a.f.f.



ELECTRICAL LEGEND	
	ceiling fan
	recess. elect. panel
	exhaust fan
	attic light/switch/outlet
	LED wall light
	CCT carless ceiling light
	ceiling smoke/gas detector
	110 outlet
	110 ground fault outlet
	110 weatherproof outlet
	110 (20A) ded. dryer outlet
	single pole switch
	three-way switch

ELECTRICAL PLAN
(SCALE 5/32" = 1'-0")

ECHO RANCH
BIBLE CAMP
FACILITIES OFFICE

CLIENT: ECHO RANCH BIBLE CAMP	DESIGNER: jd	SCALE: as noted	DWG#: ECH1	SHEET: E1
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(907) 586-0715
CDD_Admin@juneau.gov
www.juneau.org/community-development
155 Heritage Way • Juneau, AK 99801

Echo Ranch Cabins

Case Number: PAC2024 0001
Applicant: Eco Ranch Bible Camp
Property Owner: Gospel Missionary Union Inc.
Property Address: 40001 Glacier Hwy
Parcel Code Number: 3B450100041
Site Size: 155.84 acres
Zoning: Rural Reserve
Existing Land Use: Bible Camp

Conference Date: January 17, 2024

Report Issued:

DISCLAIMER: Pre-application conferences are conducted for the purpose of providing applicants with a preliminary review of a project and timeline. Pre-application conferences are not based on a complete application and are not a guarantee of final project approval.

List of Attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
Randy Alderfer	Applicant	echoranchoffice@avmi.org
Emily Suarez/ Ilsa Lund	Planning	Emily.suarez@juneau.gov
Teri Camery	Planning	xxx.xxx@juneau.gov
David Sevdv	Permits	David.Sevdv@juneau.gov
Jeff Hedges	Building	Jeff.Hedges@juneau.gov

Conference Summary

Questions/issues/agreements identified at the conference that weren't identified in the attached reports.

The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the pre-application conference.

Project Overview

The applicant would like to build three (3) staff cabins that will be used as residences for full-time staff during the summer operational months. The proposal is to build three (3) single-story structures on standard concrete footers and stem wall foundations. According to the applicant, the water for the new structures will be supplied from an existing shallow well system and the wastewater system will be engineered to accommodate the proposed structures.

The lot is located within Special Flood Hazard Area Zone V.

- The wastewater systems must be approved by the Alaska Department of Environmental Conservation, and that the system is sufficient for proposed development. Letter of approval must be submitted to the department [49.35.410(b)(1)(D)].
- A Floodplain Development Permit is required [49.70.400].
- Elevation Certificate for proposed structures.
- New construction and substantial improvements in zones V and VE must be elevated on piling and columns [49.70.400(j)(1)].
- The use of fill for structural support of buildings is prohibited in zones VE and V.

Planning Division

1. **Zoning** – The property is zoned Rural Reserve (RR).
2. **Table of Permissible Uses** – Per 49.25.300, section 21.100, resort/lodge is allowed with an approved Conditional Use Permit.
3. **Subdivision** – N/A
4. **Setbacks** –

Minimum setbacks required	RR
Front yard setback	25 feet
Rear yard setback	25 feet
Side yard setback	15 feet
Street side yard setback	13 feet

5. **Height** –

Maximum height permissible	RR
Permissible uses	45 feet
Accessory uses	45 feet

6. **Access** – The lot does not have direct and practical access. Remote access through Echo Cove boat launch.

Per 49.70.400(j)(1), new construction and substantial improvements in Zones V and VE must be elevated on piling and columns. The use of fill for structural support of buildings is prohibited.

13. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement** – The site is not within mapped avalanche/landslide hazard areas. However, the site is within Special Flood Hazard Area Zone V.
14. **Wetlands** – If wetlands are discovered in this area, special regulations may apply. CDD will require a wetlands delineation and an ACOE wetland permit application for conformance with the floodplain regulations.
15. **Habitat** – Applicant should check with U.S Fish and Wildlife Service on the presence of eagle nests in the area. The presence of eagle nests may impact construction scheduling.
16. **Plat or Covenant Restrictions** –N/A
17. **Traffic** – N/A.
18. **Nonconforming situations** – (a Nonconforming certificate is required prior to the issuance of a building permit or land use permit)

Building Division

19. **Building** – No comments provided
20. **Outstanding Permits** – Review BLD20240243 New Single Family Residence East Side Cabin
Review BLD20240240 New Single Family Residence West Side Cabin
Issued BLD20200219 Construct New Modular Bath House
Issued BLD20200185 Interior Remodel to Create Two New Bathrooms
Issued BLD20190295 New Single Family Residence-Building 2
Issued BLD20160083 New Church for Echo Ranch
Issued BLD20130722 Platform and Commercial Freezer/Cooler Room

General Engineering/Public Works

21. **Engineering** –No Comments Provided
22. **Drainage** – N/A
23. **Utilities** – (water, power, sewer, etc.) N/A

Fire Marshal

24. **Fire Items/Access** –No Comments Provided
-

Other Applicable Agency Review

25. US Army Corps / DEC (wastewater) / USF&W / F&G / FAA / Corrections... N/A

List of required applications

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

Additional Submittal Requirements

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

1. A copy of this pre-application conference report.
2. (Add any necessary supporting documents required in the application forms OR that may be useful supporting information)

Exceptions to Submittal Requirements

Submittal requirements that staff has determined **not** to be applicable or **not** required, given the specifics of the development proposal, are listed below. These items will **not** be required in order for the application to be reviewed.

1. (Add any items required with the forms that are not applicable to the Conditional Use application)
- 2.

Fee Estimates

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

1. (List individual permit fees and sign fees)
- 2.

For informational handouts with submittal requirements for development applications, please visit our website at www.juneau.org/community-development.

Submit your Completed Application

You may submit your application(s) online via email to permits@juneau.gov

OR in person with payment made to:

City & Borough of Juneau, Permit Center
230 South Franklin Street
Fourth Floor Marine View Center
Juneau, AK 99801

Phone: (907) 586-0715

Web: www.juneau.org/community-development

Attachments:

- 49.70 Article IV – if in a flood zone
- 49.15.330 – if a Conditional Use Permit

7. **Parking & Circulation**– Echo ranch is located on a remote parcel and is not accessible by road. Parking requirements do not apply to the proposed development.
8. **Lot Coverage** – Maximum lot coverage for permissible uses is 10% of lot size and 20% for conditional uses.
9. **Vegetative Coverage** – There are no minimum vegetative cover requirements in the RR zoning district [49.50.300].
10. **Lighting** – Any proposed exterior lighting will be reviewed during the permitting process.
11. **Noise** – Due to the property's remote location, existing and proposed uses are not anticipated to increase the noise levels.
12. **Flood** – The property is within Special Flood Hazard Area Zone V. The 2013 FIRM maps are still in effect for this area and the site does not have a base flood elevation associated with it.

Per 49.70.400, development within the V Special Flood Hazard Area requires a Floodplain Development Permit.

