



DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.

To be completed by Applicant	PROPERTY LOCATION														
	Physical Address 210 ADMIRAL WAY														
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) TIDELANDS ADDITION BL 82 LT 5 FR														
	Parcel Number(s) 1C070K820050														
	<input checked="" type="checkbox"/> This property is located in the downtown historic district <input checked="" type="checkbox"/> This property is located in a mapped hazard area, if so, which MODERATE														
	LANDOWNER/ LESSEE														
	Property Owner 210ADMIRALTYWAY LLC	Contact Person BLAKE RIDER													
	Mailing Address 210 ADMIRAL WAY	Phone Number(s) 907-723-3442													
	E-mail Address RIDER.BS@GMAIL.COM														
	LANDOWNER/ LESSEE CONSENT														
Required for Planning Permits, not needed on Building/ Engineering Permits.															
Consent is required of all landowners/ lessees. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner/ lessee's printed name, signature, and the applicant's name.															
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows:															
A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission.															
B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application.															
<table style="width:100%; border: none;"> <tr> <td style="width: 50%; border: none;">Landowner/Lessee (Printed Name)</td> <td style="width: 50%; border: none;">Title (e.g.: Landowner, Lessee)</td> </tr> <tr> <td style="border: none;">X <u>Blake Rider</u></td> <td style="border: none;"><u>2-27-24</u></td> </tr> <tr> <td style="border: none;">Landowner/Lessee (Signature)</td> <td style="border: none;">Date</td> </tr> <tr> <td colspan="2" style="border: none;"> </td> </tr> <tr> <td style="border: none;">Landowner/Lessee (Printed Name)</td> <td style="border: none;">Title (e.g.: Landowner, Lessee)</td> </tr> <tr> <td style="border: none;">X _____</td> <td style="border: none;">_____</td> </tr> <tr> <td style="border: none;">Landowner/Lessee (Signature)</td> <td style="border: none;">Date</td> </tr> </table>		Landowner/Lessee (Printed Name)	Title (e.g.: Landowner, Lessee)	X <u>Blake Rider</u>	<u>2-27-24</u>	Landowner/Lessee (Signature)	Date			Landowner/Lessee (Printed Name)	Title (e.g.: Landowner, Lessee)	X _____	_____	Landowner/Lessee (Signature)	Date
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X <u>Blake Rider</u>	<u>2-27-24</u>														
Landowner/Lessee (Signature)	Date														
Landowner/Lessee (Printed Name)	Title (e.g.: Landowner, Lessee)														
X _____	_____														
Landowner/Lessee (Signature)	Date														
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.															
APPLICANT															
If same as LANDOWNER, write "SAME"															
Applicant (Printed Name) NORTHWIND ARCHTIECTS, LLC	Contact Person SHANNON CROSSLEY														
Mailing Address 126 SEWARD STREET, JUNEAU, AK 99801	Phone Number(s) 907 586 6150 EX 208														
E-mail Address SHANNON@NORTHWINDARCH.COM															
X <u></u>	<u>2/15/24</u>														
Applicant's Signature	Date of Application														

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number	Intake Initials
USE24-008	
3/5/24	Date Received



ALLOWABLE/CONDITIONAL USE PERMIT APPLICATION

See reverse side for more information regarding the permitting process and the materials required for a complete application.

NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.

To be completed by Applicant

PROJECT SUMMARY

Add second floor deck to existing commercial building. (Please see Attached Permit Drawing Project Scope.)

TYPE OF ALLOWABLE OR CONDITIONAL USE PERMIT REQUESTED

- Accessory Apartment – Accessory Apartment Application (AAP)
- Use Listed in 49.25.300 – Table of Permissible Uses (USE)
Table of Permissible Uses Category: _____

IS THIS A MODIFICATION or EXTENSION OF AN EXISTING APPROVAL?

YES – Case # _____ NO

UTILITIES PROPOSED

WATER: Public On Site

SEWER: Public On Site

SITE AND BUILDING SPECIFICS

Total Area of Lot 8,091 square feet Total Area of Existing Structure(s) 10,734 square feet

Total Area of Proposed Structure(s) 11,897 square feet

EXTERNAL LIGHTING

- Existing to remain No Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures
- Proposed No Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures

ALL REQUIRED DOCUMENTS ATTACHED

Narrative including:

- Current use of land or building(s)
- Description of project, project site, circulation, traffic etc.
- Proposed use of land or building(s)
- How the proposed use complies with the Comprehensive Plan

If this is a modification or extension include:

- Notice of Decision and case number
- Justification for the modification or extension
- Application submitted at least 30 days before expiration date

Plans including:

- Site plan
- Floor plan(s)
- Elevation view of existing and proposed buildings
- Proposed vegetative cover
- Existing and proposed parking areas and proposed traffic circulation
- Existing physical features of the site (e.g.: drainage, habitat, and hazard areas)

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

ALLOWABLE/CONDITIONAL USE FEES				
	Fees	Check No.	Receipt	Date
Application Fees	\$ <u>750⁰⁰</u>			
Admin. of Guarantee	\$ _____			
Adjustment	\$ _____			
Pub. Not. Sign Fee	\$ <u>150⁰⁰</u>			
Pub. Not. Sign Deposit	\$ _____			
Total Fee	\$ _____			

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For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number	Date Received
<u>USE 24-001</u>	<u>3/5/24</u>

Allowable/Conditional Use Permit Application Instructions

Allowable Use permits are outlined in CBJ 49.15.320, Conditional Use permits are outline in CBJ 49.15.330

Pre-Application Conference: A pre-application conference is required prior to submitting an application. There is no fee for a pre-application conference. The applicant will meet with City & Borough of Juneau and Agency staff to discuss the proposed development, the permit procedure, and to determine the application fees. To schedule a pre-application conference, please contact the Permit Center at 586-0770 or via e-mail at permits@juneau.org.

Application: An application for an Allowable/Conditional Use Permit will not be accepted by the Community Development Department until it is determined to be complete. The items needed for a complete application are:

1. **Forms:** Completed Allowable/Conditional Use Permit Application and Development Permit Application forms.
2. **Fees:** Fees generally range from \$350 to \$1,600. Any development, work, or use done without a permit issued will be subject to double fees. All fees are subject to change.
3. **Project Narrative:** A detailed narrative describing the project.
4. **Plans:** All plans are to be drawn to scale and clearly show the items listed below:
 - A. Site plan, floor plan and elevation views of existing and proposed structures
 - B. Existing and proposed parking areas, including dimensions of the spaces, aisle width and driveway entrances
 - C. Proposed traffic circulation within the site including access/egress points and traffic control devices
 - D. Existing and proposed lighting (including cut sheets for each type of lighting)
 - E. Existing and proposed vegetation with location, area, height and type of plantings
 - F. Existing physical features of the site (i.e. drainage, eagle trees, hazard areas, salmon streams, wetlands, etc.)

Document Format: All materials submitted as part of an application shall be submitted in either of the following formats:

1. Electronic copies in the following formats: .doc, .txt, .xls, .bmp, .pdf, .jpg, .gif, .xlm, .rtf (other formats may be preapproved by the Community Development Department).
2. Paper copies 11" X 17" or smaller (larger paper size may be preapproved by the Community Development Department).

Application Review & Hearing Procedure: Once the application is determined to be complete, the Community Development Department will initiate the review and scheduling of the application. This process includes:

Review: As part of the review process the Community Development Department will evaluate the application for consistency with all applicable City & Borough of Juneau codes and adopted plans. Depending on unique characteristics of the permit request the application may be required to be reviewed by other municipal boards and committees. During this review period, the Community Development Department also sends all applications out for a 15-day agency review period. Review comments may require the applicant to provide additional information, clarification, or submit modifications/alterations for the proposed project.

Hearing: All Allowable/Conditional Use Permit Applications must be reviewed by the Planning Commission for vote. Once an application has been deemed complete and has been reviewed by all applicable parties the Community Development Department will schedule the requested permit for the next appropriate meeting.

Public Notice Responsibilities: Allowable/Conditional Use requests must be given proper public notice as outlined in CBJ 49.15.230:

The Community Development Department will give notice of the pending Planning Commission meeting and its agenda in the local newspaper a minimum of 10-days prior to the meeting. Furthermore, CDD will mail notices to all property owners within 500-feet of the project site.

The Applicant will post a sign on the site at least 14 days prior to the meeting. The sign shall be visible from a public right-of-way or where determined appropriate by CDD. Signs may be produced by the Community Development Department for a preparation fee of \$50, and a \$100 deposit that will be refunded in full if the sign is returned within seven days of the scheduled hearing date. If the sign is returned between eight and 14 days of the scheduled hearing \$50 may be refunded. The Applicant may make and erect their own sign. Please contact the Community Development Department for more information.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

Sydney Hawkins

From: Forrest Courtney
Sent: Tuesday, March 5, 2024 2:25 PM
To: Sydney Hawkins
Subject: FW: PAC24-007 Final Notes

See below

Forrest Courtney | Planner II

Community Development Department | City & Borough of Juneau, AK
Location: 230 S. Franklin Street | 4th Floor Marine View Building
Office: 907.586.0753 x4208



Fostering excellence in development for this generation and the next.

How are we doing? Provide feedback here: <https://juneau.org/community-development/how-are-we-doing>

From: Shannon Crossley <shannon@northwindarch.com>
Sent: Tuesday, March 5, 2024 12:30 PM
To: Forrest Courtney <Forrest.Courtney@juneau.gov>
Cc: James Bibb <james@northwindarch.com>; Permits <Permits@juneau.gov>
Subject: Re: PAC24-007 Final Notes

Permitting,

Please send me the narrative that I need to edit if this is not it? Forrest is confusing me by referring to multiple paragraphs, from my email on the 29th, this was the narrative we submitted (with the new SF info included):

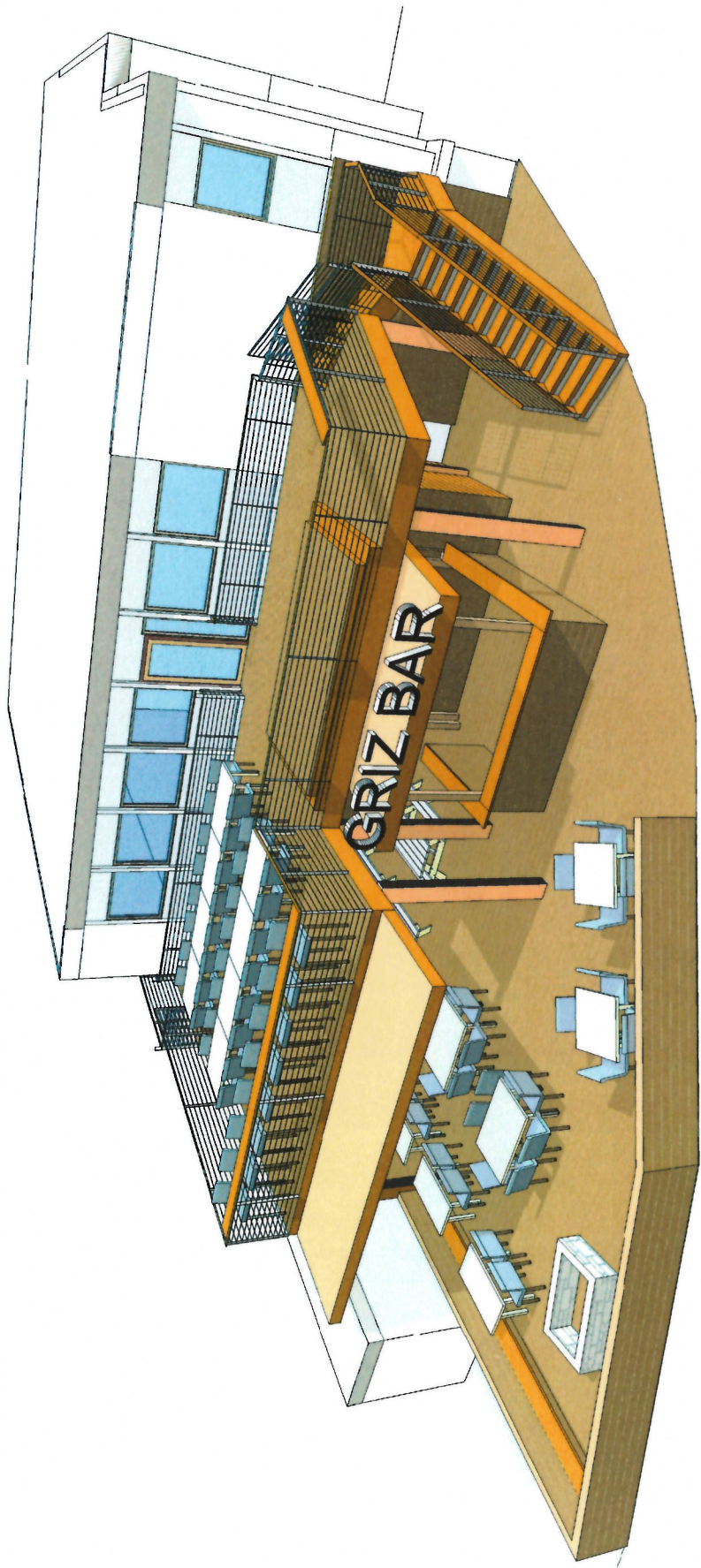
THE GRIZ BAR, LOCATED AT THE OUTDOOR PATIO AT 210 ADMIRAL WAY, WANTS TO RENOVATE THE EXISTING GROUND FLOOR PATIO ADJACENT TO THE SOUTHEAST FACADE AND CONSTRUCT A SECOND STORY DECK. THE EXISTING SECOND STORY EGRESS FROM THE HISTORIC JUNEAU POLICE STATION BUILDING WILL BE IMPROVED WITH A NEW CATWALK FROM THE PROPOSED DECK TO THE EXISTING SECOND STORY EGRESS DOOR, AND A NEW EGRESS STAIRCASE TO THE ALLEY BELOW. A SECOND EGRESS STAIRCASE WILL ALLOW CUSTOMERS TO ACCESS THE SECOND FLOOR DECK FROM THE PATIO. THE SCOPE OF THIS PROJECT INCLUDES EXCAVATING THE EXISTING PATIO AND REPLACING THE CONCRETE HARDSCAPE WITH A WOOD DECKING FINISH. THE EXISTING BAR WILL BE UTILIZED IN THE NEW FACILITY. THE EXISTING BUILDING HAS 1800 SF OF EXTERIOR TERRACE THAT WILL BE RENOVATED, AND THE INTERIOR HAS 3,000 OF RETAIL AND 1350 OF STORAGE/COMMON AREAS. UPSTAIRS, THE EXISTING BUILDING HAS 2500 SF OF OFFICE SPACE, AND 1700 SF OF STORAGE/CIRCULATION/COMMON AREAS. THE DECK ADDITION WILL INCLUDE 1163 SF OF CIRCULATION/OUTDOOR SEATING.



NorthWind Architects, LLC
 125 Seward St.
 Juneau, AK 99801
 Phone: 907.586.1100
 Fax: 907.586.1101
 www.northwindarch.com

IF THE ARCHITECT HAS BEEN NOTIFIED BY THE BOARD OF ARCHITECTS THAT THE ARCHITECT'S LICENSE IS IN VIOLATION OF THE BOARD'S RULES, THE ARCHITECT SHALL NOT BE PERMITTED TO SEAL OR SIGN ANY ARCHITECTURAL DRAWINGS AFFECTING ALL LIVES, SOULS

NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK
 210 ADMIRAL WAY
 JUNEAU, AK



SHEET TITLE:
PERSPECTIVE



CHECKED	JB
DRAWN	SCC
DATE	02/21/2024

SHEET #	G0.2
PLOT DATE	02/21/2024
ISSUE DATE	02/21/2024

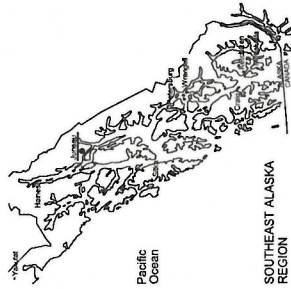
① PERSPECTIVE

NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK

Permit Documents

<p>OWNER</p> <p>AK Griz Bar LLC 210 Admiral Way Juneau, AK 99801 (907) 723-3442 Bilbo Pober</p>	<p>ARCHITECTURE</p>  <p>NorthWind Architects, LLC. 126 Seward St. Juneau, AK 99801 (907) 585-5150 Juneau 99801, AK</p>	<p>STRUCTURAL</p>  <p>Sigma Consulting & Engineering, LLC PO BOX 20554 Juneau AK 99801 (907) 723-3881 John Haskoy</p>	
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REGIONAL MAP



PROJECT SCOPE

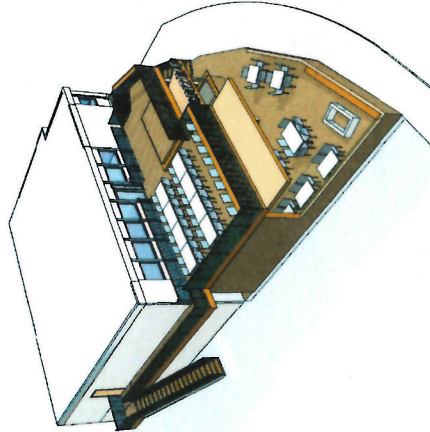
THE GRIZ BAR, LOCATED AT THE OUTDOOR PATIO AT 210 ADMIRAL WAY, WANTS TO RENOVATE THE EXISTING GROUND FLOOR PATIO ADJACENT TO THE SOUTHEAST FACADE AND CONSTRUCT A SECOND STORY DECK. THE EXISTING SECOND STORY EGRESS FROM THE HISTORIC JUNEAU POLICE STATION BUILDING WILL BE PROPOSED DECK TO THE EXISTING SECOND STORY EGRESS DOOR, AND A NEW EGRESS STAIRCASE TO THE ALLEY BELOW. A SECOND EGRESS STAIRCASE WILL BE PROPOSED TO ACCESS THE SECOND FLOOR DECK FROM THE PATIO.

THE SCOPE OF THIS PROJECT INCLUDES EXCAVATING THE EXISTING SECOND STORY CONCRETE HARBORCASTE (W/ WOOD DECK) AND CONCRETE EXISTING BAR WILL BE UTILIZED IN THE NEW FACILITY.

GENERAL NOTES

- CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL LOCAL & FEDERAL BUILDING CODES.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO AS-BUILT CONDITIONS.
- CONTRACTOR TO UTILIZE EXISTING MECHANICAL, ELECTRICAL, AND FIRE DEVICES WHERE POSSIBLE.
- ADJACENT SPACE WILL BE OCCUPIED DURING CONSTRUCTION. MAINTAIN POWER & UTILITIES AT ALL TIMES TO ADJACENT TENANTS DURING WORK.
- WORK AREAS WILL BE LEFT CLEAN AND FREE OF ANY DEBRIS OR DUST AT THE END OF EACH SHIFT.
- ALL TOOLS, CONSTRUCTION MATERIALS AND EQUIPMENT ARE TO BE PROPERLY STORED AT THE END OF EACH SHIFT. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SECURITY OF ALL TOOLS, CONSTRUCTION MATERIALS AND EQUIPMENT.
- THE CONTRACTOR WILL NEED TO COORDINATE WITH BUILDING MANAGEMENT FOR INTERIOR SECURE STORAGE OF TOOLS AND EQUIPMENT IN A SPACE TO BE PROVIDED. THIS SPACE WILL BE PROVIDED PRIOR TO COMMENCEMENT OF WORK. MATERIALS PRIOR TO AND DURING INSTALLATION.
- THE CONTRACTOR SHALL PROVIDE REFUSE SERVICES. A DUMPSTER SHALL BE PROVIDED TO THE PROJECT SITE ON A DUMPSTER, DELIVERED AND STORAGE REQUIREMENTS ARE TO BE COORDINATED WITH THE BUILDING MANAGER.
- PROTECT EXTERIOR & RELITE WINDOWS AT ALL TIMES DURING CONSTRUCTION.
- NEW WORK IS BASED ON RECORD DOCUMENTS PROVIDED BY THE BUILDING OWNER AND LIMITED FIELD VERIFICATION. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES TO AS-BUILT CONDITIONS.
- ALL DIMENSIONS ARE TO CENTERLINE OR FACE OF FINISH.

RENDERING FROM ABOVE



SHEET INDEX

ARCHITECTURAL	
G0.0	COVER SHEET
G0.1	FEDERAL S. CODE ANALYSIS, & EXIT PLAN
G0.2	PERSECUATIVE
A0.1	SITE PLAN
A0.2	DEMOLITION PLAN
A1.0	FIRST FLOOR PLAN
A1.1	SECOND FLOOR PLAN
A2.0	ELEVATIONS
A3.0	SECTIONS
A4.0	ENLARGED PLANS
A5.0	DETAILS
STRUCTURAL	
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S3	FOUNDATION PLAN - EGRESS
S4	FIRST FLR BRACING PLAN - MAIN
S5	FIRST FLR BRACING PLAN - EGRESS
S6	SECOND FLR BRACING PLAN - MAIN
S7	SECOND FLR BRACING PLAN - EGRESS
S8	SECOND FLR CONNECTION PLAN - MAIN
S9	SECOND FLR CONNECTION PLAN - EGRESS
S10	FOUNDATION DETAILS
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S13	FOUNDATION DETAILS
S14	FOUNDATION DETAILS
S15	FOUNDATION DETAILS
S16	ELEVATIONS AND SECTIONS
S17	ELEVATIONS AND SECTIONS



01/24/2024
COVER SHEET

SHEET #
G0.0

PLOT DATE: 02/27/2024
ISSUE DATE: 02/27/2024

SYMBOLS

GENERAL - LEGEND		FLOOR PLANS - LEGEND	
	FLOOR PLAN		SHEET/DETAIL TITLE
	BUILDING SECTION		DEMO KEY NOTE
	ENLARGED BUILDING SECTION OR WALL SECTION		ELEVATION
	GRID BUBBLE		REVISIONS
	DETAIL KEY		PROPERTY LINE
			PATH OF EGRESS
			PARTITION TYPE
			WALL OR STRUCTURE
			DOWNSPOUT
			STRUCTURAL ELEMENT - SEE STRUCTURAL SHEETS

MATERIALS

	CONCRETE
	EARTH
	STEEL
	PLYWOOD
	WOOD
	DECKING

GENERAL NOTES

- CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL LOCAL & FEDERAL BUILDING CODES.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK & NOTIFY ARCHITECT OF ANY DISCREPANCIES TO AS-BUILT CONDITIONS.
- CONTRACTOR TO UTILIZE EXISTING MECHANICAL, ELECTRICAL, AND FIRE DEVICES WHERE POSSIBLE.
- ADJACENT SPACE WILL BE OCCUPIED DURING CONSTRUCTION TO ADJACENT TENANTS DURING WORK.
- WORK AREAS WILL BE LEFT CLEAN AND FREE OF ANY DEBRIS OR DUST AT THE END OF EACH SHIFT.
- ALL TOOLS, CONSTRUCTION MATERIALS AND EQUIPMENT ARE TO BE PROPERLY STORED AT THE END OF EACH SHIFT. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SECUREMENT OF ALL TOOLS, CONSTRUCTION MATERIALS AND EQUIPMENT.
- THE CONTRACTOR WILL NEED TO COORDINATE WITH BUILDING MANAGEMENT FOR INTERIOR SECURE STORAGE OF ALL TOOLS, CONSTRUCTION MATERIALS AND EQUIPMENT. THIS SPACE WILL BE USED FOR INTERIOR STORAGE TO ACCUMULATE MATERIALS PRIOR TO AND DURING INSTALLATION.
- THE CONTRACTOR SHALL PROVIDE REFUSE SERVICES, A LOCATION NEAR THE BUILDING WILL BE DESIGNATED FOR A DUMPSTER, DELIVERIES AND STORAGE REQUIREMENTS ARE TO BE COORDINATED WITH THE BUILDING MANAGER.
- PROTECT EXTERIOR & RELIEVE WINDOWS AT ALL TIMES DURING CONSTRUCTION.
- NEW WORK IS BASED ON RECORD DOCUMENTS PROVIDED BY THE BUILDING OWNER AND LIMITED FIELD VERIFICATION. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES TO AS-BUILT CONDITIONS.
- ALL DIMENSIONS ARE TO CENTERLINE OR FACE OF FINISH.

ZONING REVIEW

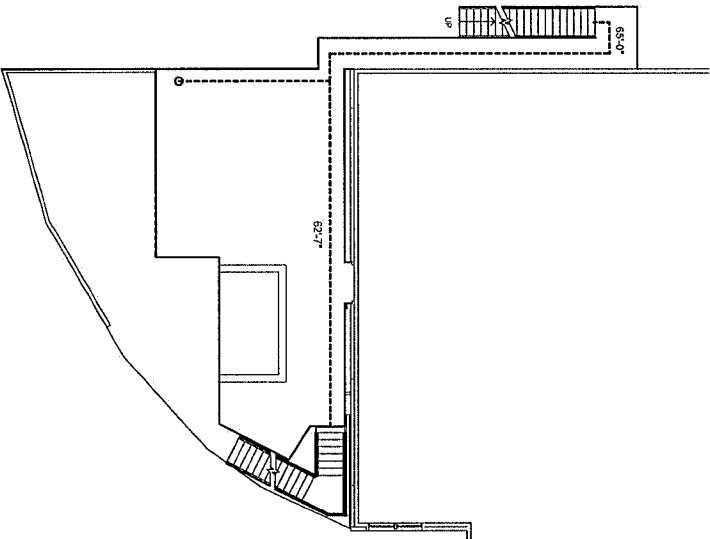
- ZONED MIXED USE
- 0'-0" SETBACK REQ.
- NO VEGETATION COVER REQ.
- OCCUPANCY FOR UPSTAIRS DECK: 977115= 66 PEOPLE
- TWO MEANS OF EGRESS REQUIRED IF OCCUPANCY IS OVER 50 PEOPLE
- 1,800 SF FIRST FLOOR DECK

CODE ANALYSIS

DESCRIPTION:
 THE PROPOSED PROJECT INCLUDES A NEW FIRST FLOOR DECK WITH STORAGE AREA AND EXISTING BAR AND NEW SECOND FLOOR DECK WITH CANYALK TO EGRESS (TWO (2) EGRESS STAIRCASES OF APPROPRIATE WIDTH (5'-9"))

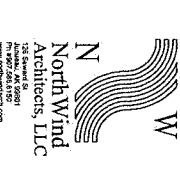
APPLICABLE CODES:
 2021 INTERNATIONAL BUILDING CODE (IBC)
 2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
 2020 NATIONAL ELECTRICAL CODE (NEC)
 2021 INTERNATIONAL MECHANICAL CODE (IMC)
 2021 INTERNATIONAL FIRE CODE (IFC)
 PROJECT SQUARE FOOTAGES:
 FIRST FLOOR DECK (1,800 SF TOTAL)
 * STORAGE AREA (148 SF)
 SECOND FLOOR DECK (1183 SF TOTAL)
 * EXISTING BAR (139 SF) AND
 * CANYALK TO EGRESS (118 SF)
 * CANYALK TO EGRESS STAIRCASE (188 SF)

OCCUPANCY CLASSIFICATION (IBC CHAP 2):
 PRIMARY OCCUPANCY ASSEMBLY A-2
 TYPE C OF CONSTRUCTION (IBC CHAP 6)
 V-B: TYPE V CONSTRUCTION ALLOWS THE USE OF ALL TYPES OF MATERIALS, BOTH NONCOMBUSTIBLE AND COMBUSTIBLE



1 SECOND FLOOR CODE & EXITING PLAN

1/8" = 1'-0"



IF THE ABOVE INFORMATION DOES NOT CORRESPOND TO THE INFORMATION ON THE DRAWING, THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR VERIFYING ALL LABEL BOARDS.

NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK

210 ADMIRAL WAY
 JUNEAU, AK

SHEET TITLE:	SYMBOLS CODE ANALYSIS, & EXIT PLAN
Checked:	JB
Drawn:	SCC
Scale:	AS SHOWN

SHEET #	G0.1
PORT DATE	02/21/2024
ISSUE DATE	02/21/2024

GENERAL NOTES

- CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL LOCAL & FEDERAL BUILDING CODES.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK & NOTIFY ARCHITECT OF ANY DISCREPANCIES TO AS-BUILT CONDITIONS.
- CONTRACTOR TO UTILIZE EXISTING MECHANICAL, ELECTRICAL, AND FIRE DEVICES WHERE POSSIBLE.
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- WORK AREAS WILL BE KEPT CLEAN AND FREE OF ANY DEBRIS OR DUST AT THE END OF EACH SHIFT.
- ALL TOOLS, CONSTRUCTION MATERIALS AND EQUIPMENT ARE TO BE STORED IN A DESIGNATED AREA FOR EACH SHIFT. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SECURITY OF ALL TOOLS, CONSTRUCTION MATERIALS AND EQUIPMENT.

- THE CONTRACTOR WILL NEED TO COORDINATE WITH BUILDING MANAGEMENT FOR STORAGE OF TOOLS AND EQUIPMENT IN A SPACE TO BE PROVIDED. THIS SPACE WILL BE USED FOR INTERIOR STORAGE OF TOOLS AND EQUIPMENT PRIOR TO AND DURING INSTALLATION.
- THE CONTRACTOR SHALL PROVIDE REFUSE SERVICES. ALL TRASH FROM THE BUILDING WILL BE DESIGNATED FOR A CURBSTER. THE BUILDING WILL BE DESIGNATED FOR A CURBSTER. ALL REQUIREMENTS ARE TO BE COORDINATED WITH THE BUILDING MANAGER.

- PROTECT EXTERIOR & RELITE WINDOWS AT ALL TIMES DURING CONSTRUCTION.
- NEW WORK IS BASED ON RECORD DOCUMENTS PROVIDED BY THE BUILDING OWNER AND LIMITED FIELD VERIFICATION. CONTRACTOR TO VERIFY ALL CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES TO AS-BUILT CONDITIONS.
- ALL DIMENSIONS ARE TO CENTERLINE OR FACE OF FINISH.

SITE PLAN KEYNOTES

- NEW SECOND FLOOR DECK
- NEW FIRST FLOOR DECK
- EXISTING BAR
- NEW EGRESS STAIRCASE
- NEW CATWALK TO EGRESS STAIR



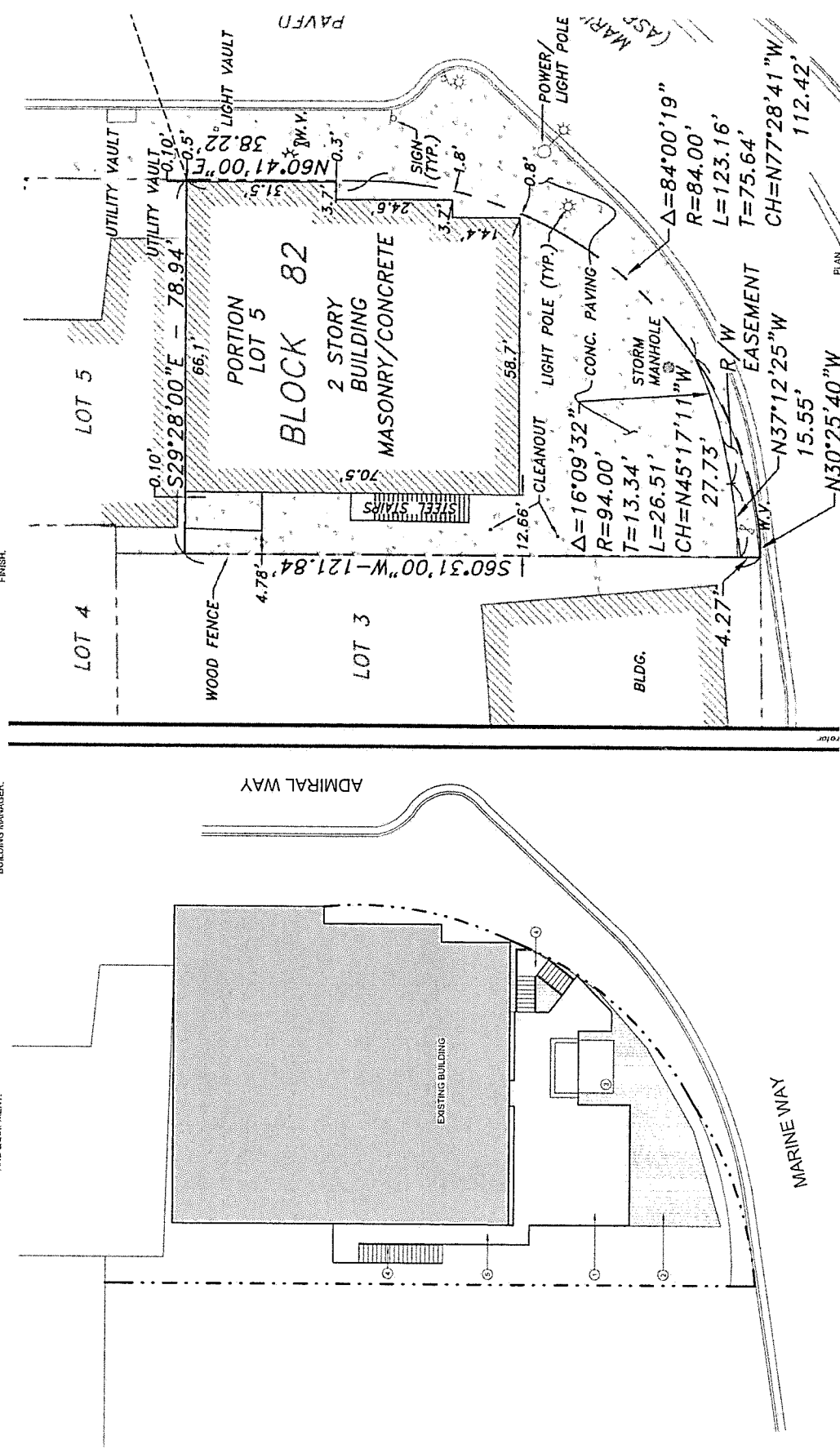
NorthWind Architects, LLC
 124 Commercial St.
 Anchorage, AK 99501
 Phone: 907.562.1199
 Fax: 907.562.1198
 www.northwindarch.com

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WVA 2350-210 ADMIRAL WAY GRIZ BAR DECK
 SHEET TITLE
 SITE PLAN

CHECKED	JB
DRAWN	BCC
DATE	02/21/2024

SHEET # **A0.1**
 PLOT DATE 02/21/2024
 ISSUE DATE 02/21/2024



1 SITE PLAN
 3/32" = 1'-0"



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NWA 2350-210 ADMIRAL WAY GRIZ BAR DECK
 210 ADMIRAL WAY
 JUNEAU, AK

DEMOLITION NOTES

- FOR GENERAL NOTES, SEE A0.1.
- PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PREVENT PUBLIC FROM INJURY DUE TO DEMOLITION WORK.
- REPAIR DEMOLITION PERFORMED IN EXCESS OF 12 INCHES OF DEPTH TO EXISTING SURFACE TO REMAIN BUT HAVE BECOME SOILED OR DAMAGED BY DEMOLITION WORK TO NEW CONDITION, AT NO ADDITIONAL COST TO THE OWNER.
- CONDUCT SELECTIVE DEMOLITION OPERATIONS AND DEBRIS REMOVAL IN A MANNER TO ENSURE NEIGHBORING PROPERTIES, SIDEWALKS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
- DO NOT CLOSE BLOCK OR OTHERWISE OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM AUTHORITIES HAVING JURISDICTION. PROVIDE TRAFFIC ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS.
- CONTROL DUST RESULTING FROM DEMOLITION AND REMOVAL WORK TO AVOID CREATION OF A NUISANCE IN THE SURROUNDING AREA. PROVIDE DUST CONTROL MEASURES AS REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION.
- REMOVE PROTECTION AT COMPLETION OF WORK.
- CONTRACTOR TO UTILIZE EXISTING MECHANICAL, ELECTRICAL AND FIRE DEVICES WHERE POSSIBLE.
- MAINTAIN POWER & UTILITIES AT ALL TIMES TO ADJACENT TENANTS DURING WORK.

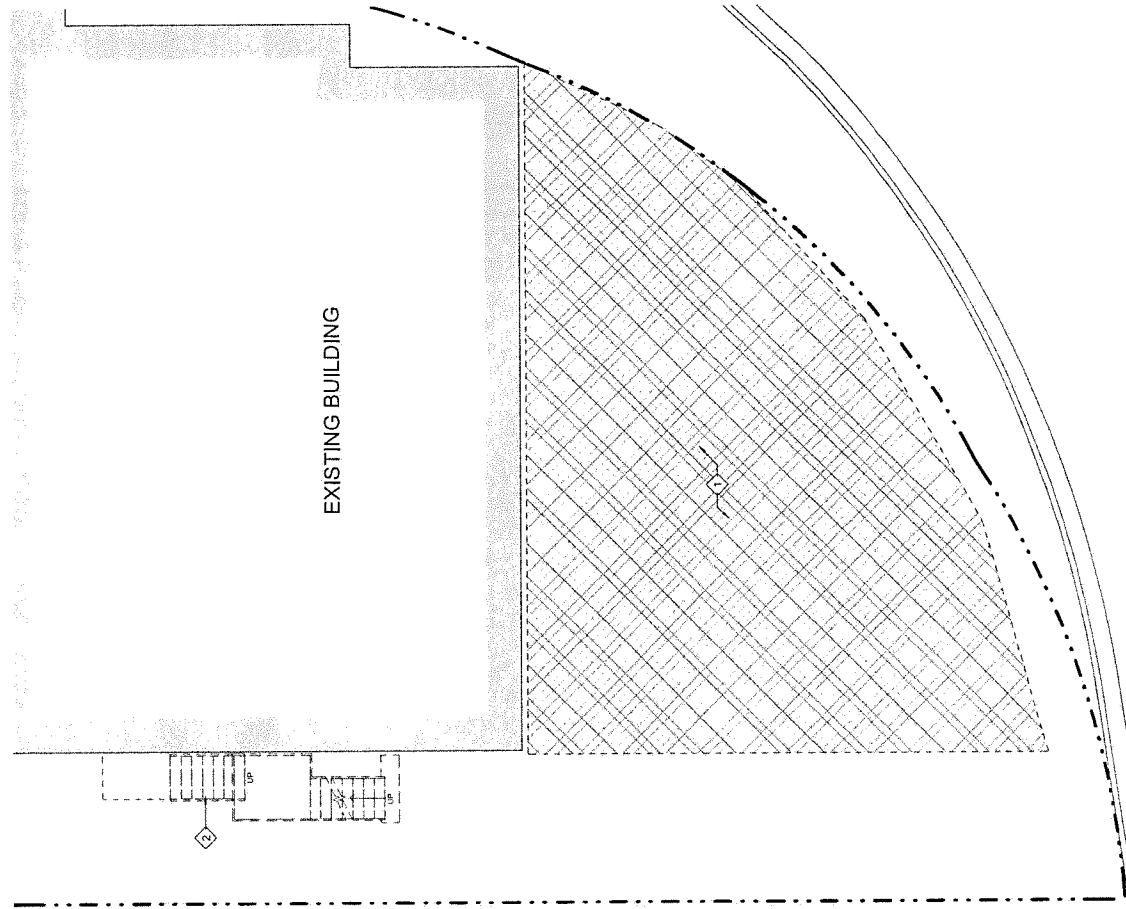
DEMOLITION KEYNOTES

- ◇ DEMO EXISTING CONCRETE PAD, EXCAVATE REQUIRED SOIL TO ALLOW FOR NEW FT WOOD FRAMING
- ◇ DEMO EXISTING EGRESS STAIRCASE

DEMOLITION LEGEND

- EXISTING TO REMAIN
- - - - - EXISTING TO BE DEMOLISHED/REMOVED
- ▨ EXISTING CONCRETE PAD TO BE DEMOLISHED/REMOVED

NOTE: REMOVE HAZARDOUS MATERIALS THAT WILL BE DISTURBED OR IMPACTED BY THE PROJECT.



1 FIRST FLOOR PLAN
 3/16" = 1'-0"

SHEET TITLE:
DEMOLITION PLAN

CHECKED	JB
DRAWN	SCC
DATE	06/21/2024
DESCRIPTION	

SHEET #	A0.2
PLCT DATE	02/21/2024
ISSUE DATE	02/21/2024



IF THE APPLICABLE REGULATIONS DO NOT SPECIFICALLY REQUIRE A PERMITS, THE PERMITTING AGENCY SHALL BE NOTIFIED PRIOR TO COMMENCING ANY WORK.

NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK

210 ADMIRAL WAY
JUNEAU, AK

GENERAL NOTES

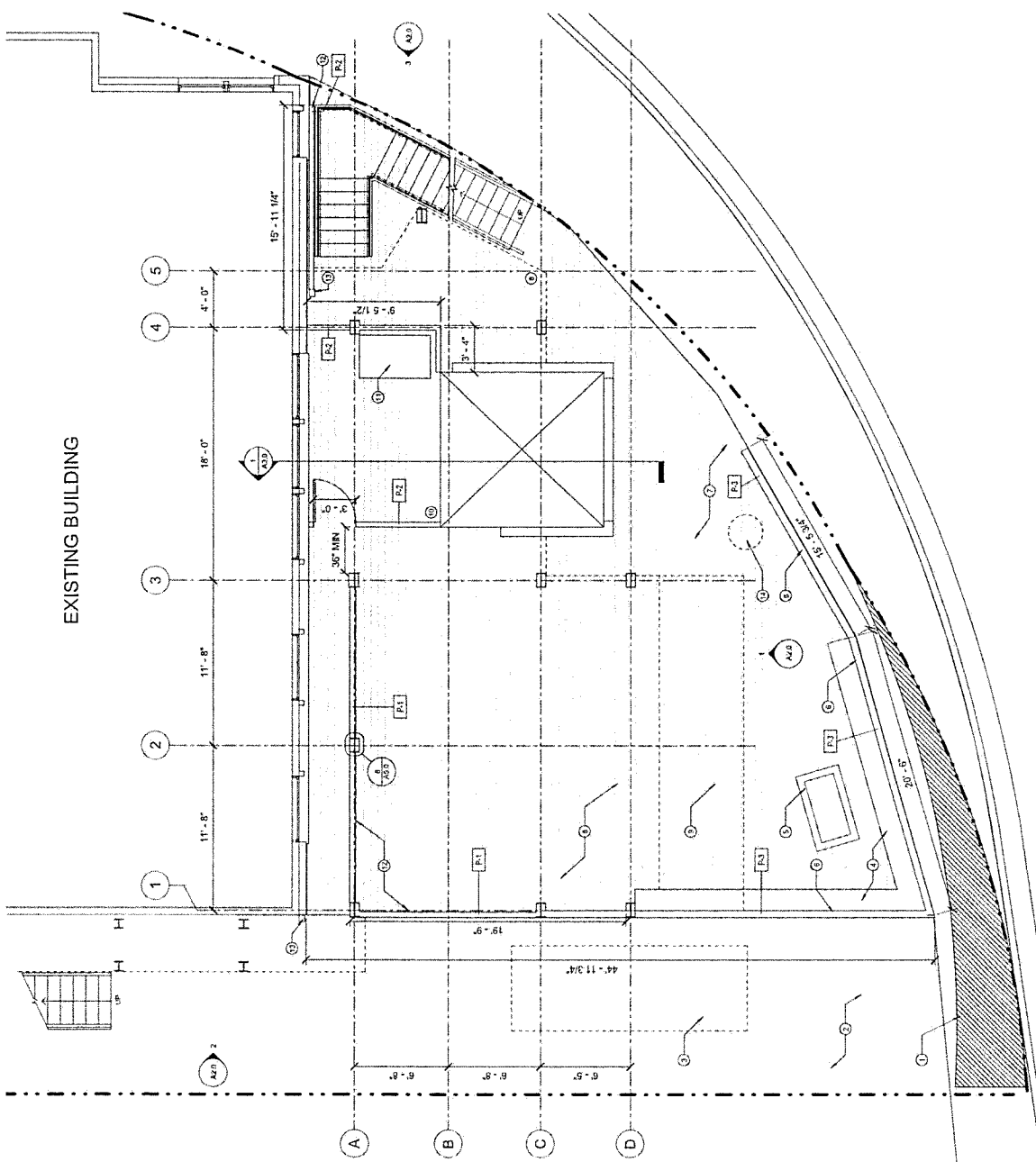
- CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL LOCAL & FEDERAL BUILDING CODES.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES TO AS-BUILT CONDITIONS.
- CONTRACTOR TO UTILIZE EXISTING MECHANICAL, ELECTRICAL, AND FIRE DEVICES WHERE POSSIBLE.
- ADJACENT SPACES WILL BE OCCUPIED DURING CONSTRUCTION. ALL WORK SHALL BE COMPLETED AT ALL TIMES TO ADJACENT TENANTS DURING WORK.
- WORK AREAS WILL BE LEFT CLEAN AND FREE OF ANY DEBRIS OR DUST AT THE END OF EACH SHIFT.
- ALL TOOLS, CONSTRUCTION MATERIALS AND EQUIPMENT ARE TO BE PROPERLY STORED AT THE END OF EACH SHIFT. ALL TOOLS AND EQUIPMENT MUST BE STORED IN THE SECURITY OF ALL TOOLS, CONSTRUCTION MATERIALS AND EQUIPMENT.
- THE CONTRACTOR WILL NEED TO COORDINATE WITH BUILDING MANAGEMENT FOR INTERIOR SECURE STORAGE OF TOOLS AND EQUIPMENT IN A SPACE TO BE PROVIDED. THIS SPACE WILL BE USED FOR INTERIOR STORAGE OF ALL TOOLS, CONSTRUCTION MATERIALS AND EQUIPMENT.
- THE CONTRACTOR SHALL PROVIDE REFUSE SERVICES. ALL DEBRIS FROM THE BUILDING WILL BE DESIGNATED FOR REMOVAL. ALL DEBRIS SHALL BE REMOVED FROM THE BUILDING. ALL DEBRIS SHALL BE COORDINATED WITH THE BUILDING MANAGER.
- PROTECT EXTERIOR & BELITE WINDOWS AT ALL TIMES DURING CONSTRUCTION.
- NEW WORK IS BASED ON RECORD DOCUMENTS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES TO AS-BUILT CONDITIONS.
- ALL DIMENSIONS ARE TO CENTERLINE OR FACE OF FINISH.

ZONING REVIEW

- ZONED MIXED USE
- 0'-0" SETBACK REQ.
- NO VEGETATION COVER REQ
- TWO MEANS OF EGRESS REQUIRED IF OCCUPANCY IS OVER 50 PEOPLE
- EGRESS STAIRCASE CANNOT BE WINDING STAIR. MUST HAVE EQUAL DISTANCE ON BOTH ENDS OF TREAD
- 1,078 SF FIRST FLOOR DECK

FLOORPLAN KEYNOTES

- EASEMENT
- ALLEY DRIVEWAY ACCESS
- FOOD TRUCK
- BENCH SEAT
- FIRE PIT
- 36" WOOD FRAMED STEM WALL
- NEW WOOD DECKING, FLUSH TO SIDEWALK
- NEW DECK ABOVE
- DECK STRUCTURE EXTENSION ABOVE FOR COVER
- STORAGE AREA
- NEW COOLER
- WOOD FRAMED WOOD SLAT PRIVACY WALL TO BTM OF DECK ASSEMBLY
- DOWNSPOUT TO DRAINAGE PATH UNDERNEATH DECKING
- STORM MANHOLE



1 FIRST FLOOR PLAN
1/4" = 1'-0"



SHEET TITLE	
FIRST FLOOR PLAN	
CHECKED	JB
DRAWN	SOC
DATE	02/21/2024

SHEET #	A1.0
PLOT DATE	02/21/2024
ISSUE DATE	02/21/2024



210 ADMIRAL WAY
JUNEAU, AK 99801
907.586.1234
WWW.NORTHWINDARCHITECTS.COM

WMA 2350- 210 ADMIRAL WAY GRIZ BAR DECK

GENERAL NOTES

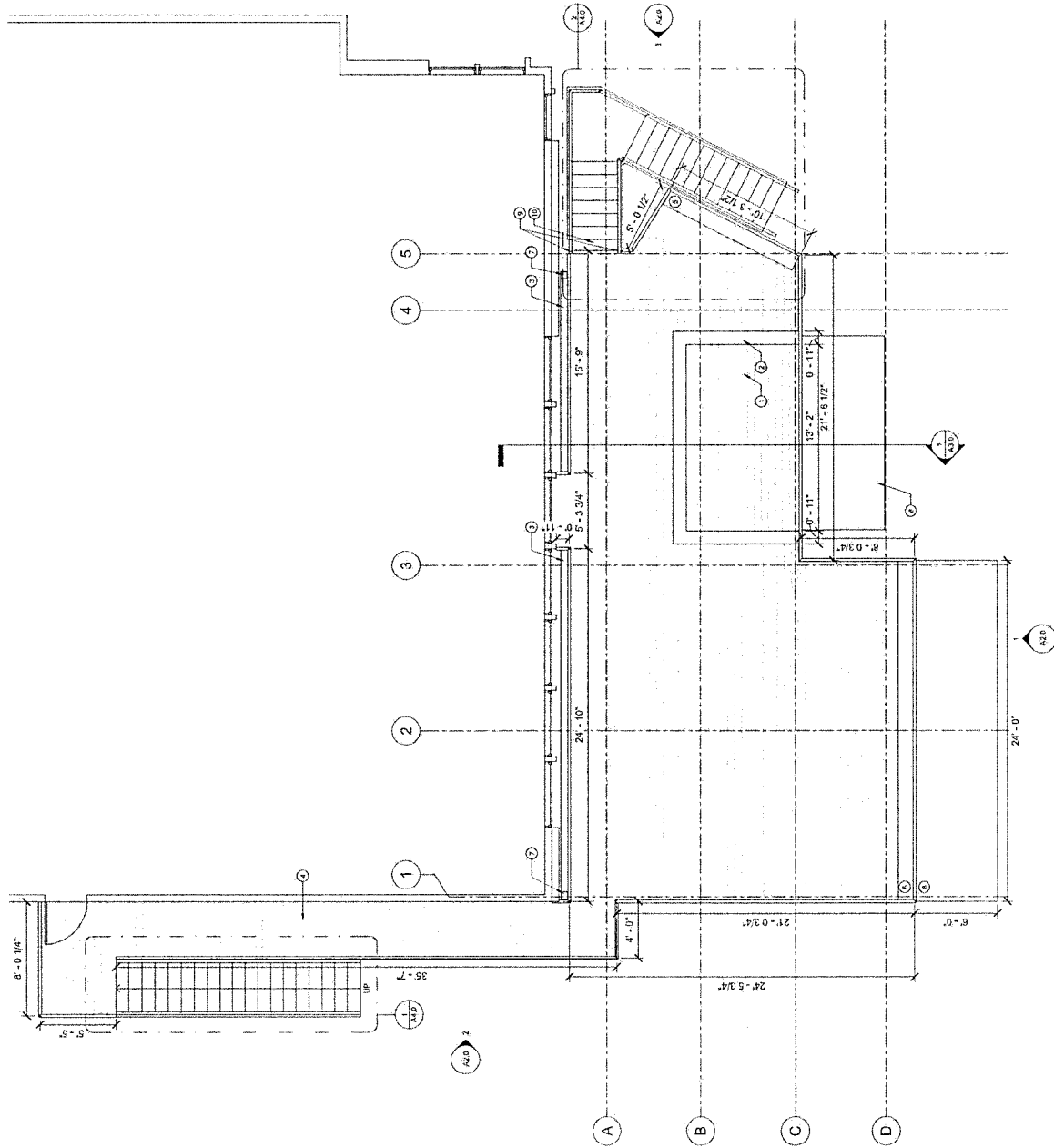
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- NEW WORK IS BASED ON RECORD DOCUMENTS. VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES TO AS-BUILT CONDITIONS.
- ALL DIMENSIONS ARE TO FACE OF FINISH.

ZONING REVIEW

- 977 SF DECK
- 1163 SF TOTAL WITH CATWALK
- OCCUPANCY FOR UPSTAIRS DECK: 977/15= 66 PEOPLE
- TWO MEANS OF EGRESS REQUIRED IF OCCUPANCY IS OVER 60 PEOPLE

FLOORPLAN KEYNOTES

- DECK PLATFORM
- STEP UP
- 6" COMMERCIAL GUTTER
- EGRESS CATWALK
- 12" DEEP BUILT-IN BAR TOP WITH BACKSPLASH
- BAR BELOW
- COMMERCIAL GUTTER
- CANOPY
- 12" HANDRAIL EXTENSIONS
- TRANSITION STEP BETWEEN DECK AND STAIRCASE



1 SECOND FLOOR PLAN
1/8" = 1'-0"



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SHEET # **A1.1**
PLUT DATE 02/21/2024
ISSUE DATE 02/21/2024



BY THE ARCHITECT'S SEAL AND SIGNATURE, THE ARCHITECT CERTIFIES THAT THE DRAWING IS HIS OR HER ORIGINAL WORK AND THAT HE OR SHE IS A LICENSED ARCHITECT IN THE STATE OF ALASKA.

NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK

210 ADMIRAL WAY
JUNEAU, AK

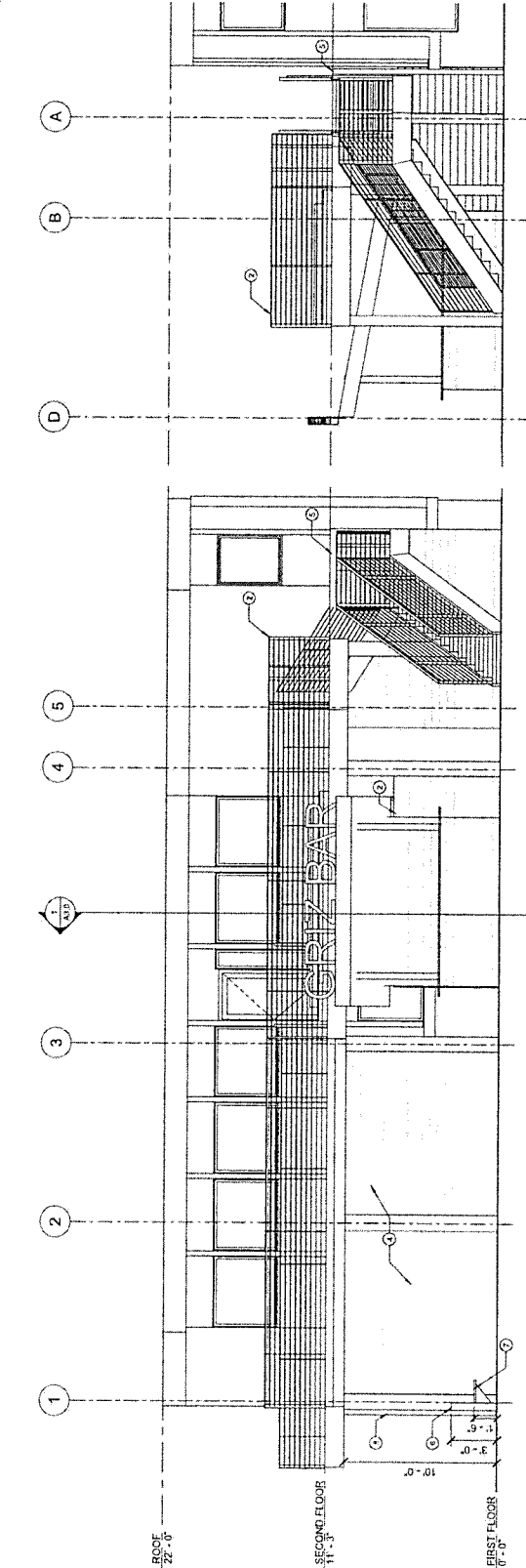
GENERAL NOTES

- CONSTRUCTION IS TO BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL BUILDING CODES.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK & NOTIFY ARCHITECT OF ANY DISCREPANCIES TO AS-BUILT CONDITIONS
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- ALL DIMENSIONS ARE TO CENTERLINE OR FACE OF FINISH.

SHEET TITLE
ELEVATIONS

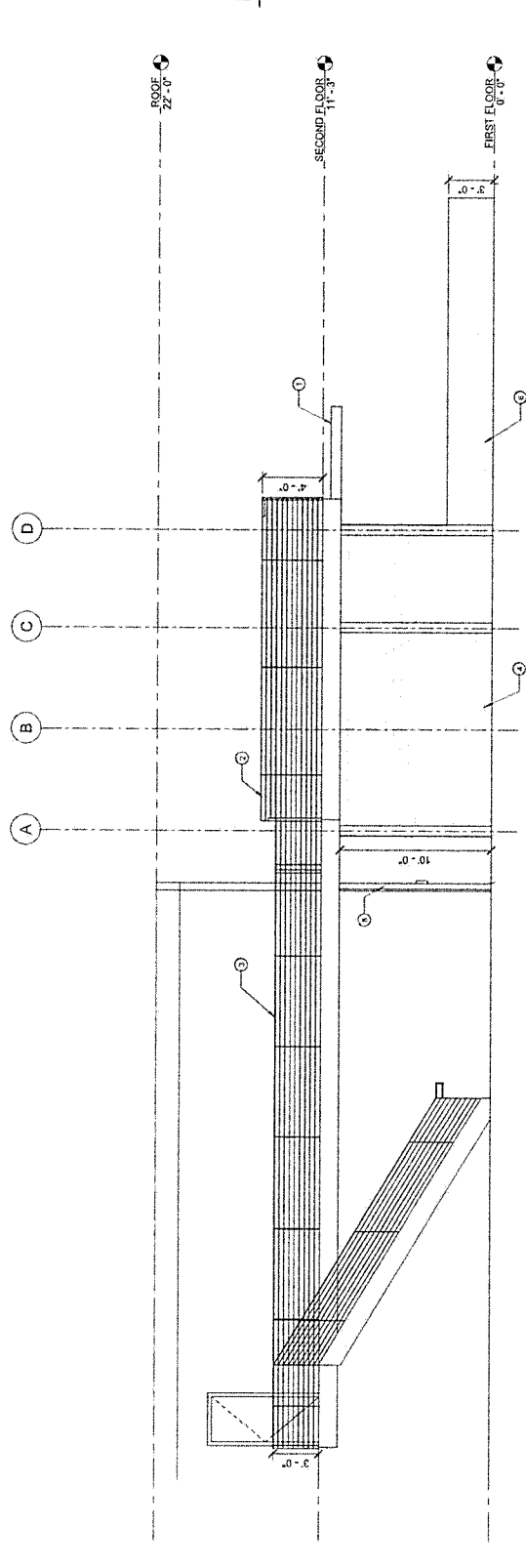
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DRAWN	BCC
DATE	02/21/2024
SCALE	AS SHOWN

SHEET # **A2.0**
 PROJECT DATE 02/21/2024
 ISSUE DATE 02/21/2024



1 SOUTH ELEVATION
1/4" = 1'-0"

3 EAST ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

ELEVATION KEYNOTES

- CANOPY
- 48" GUARDRAIL WITH SS CABLES
- 36" GUARDRAIL WITH SS CABLES
- 120" PARTITION WALL TO BOTTOM OF STRUCTURE
- 135" PARTITION WALL
- 36" PARTITION WALL
- BUILT-IN BENCH WITH BRACKETS
- DOWNPOUT TO DRAINAGE PATH UNDERNEATH DECKING
- 6" COMMERCIAL DOWNPOUT

GENERAL NOTES

- CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL LOCAL & FEDERAL BUILDING CODES.
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210 ADMIRAL WAY
JUNEAU, AK

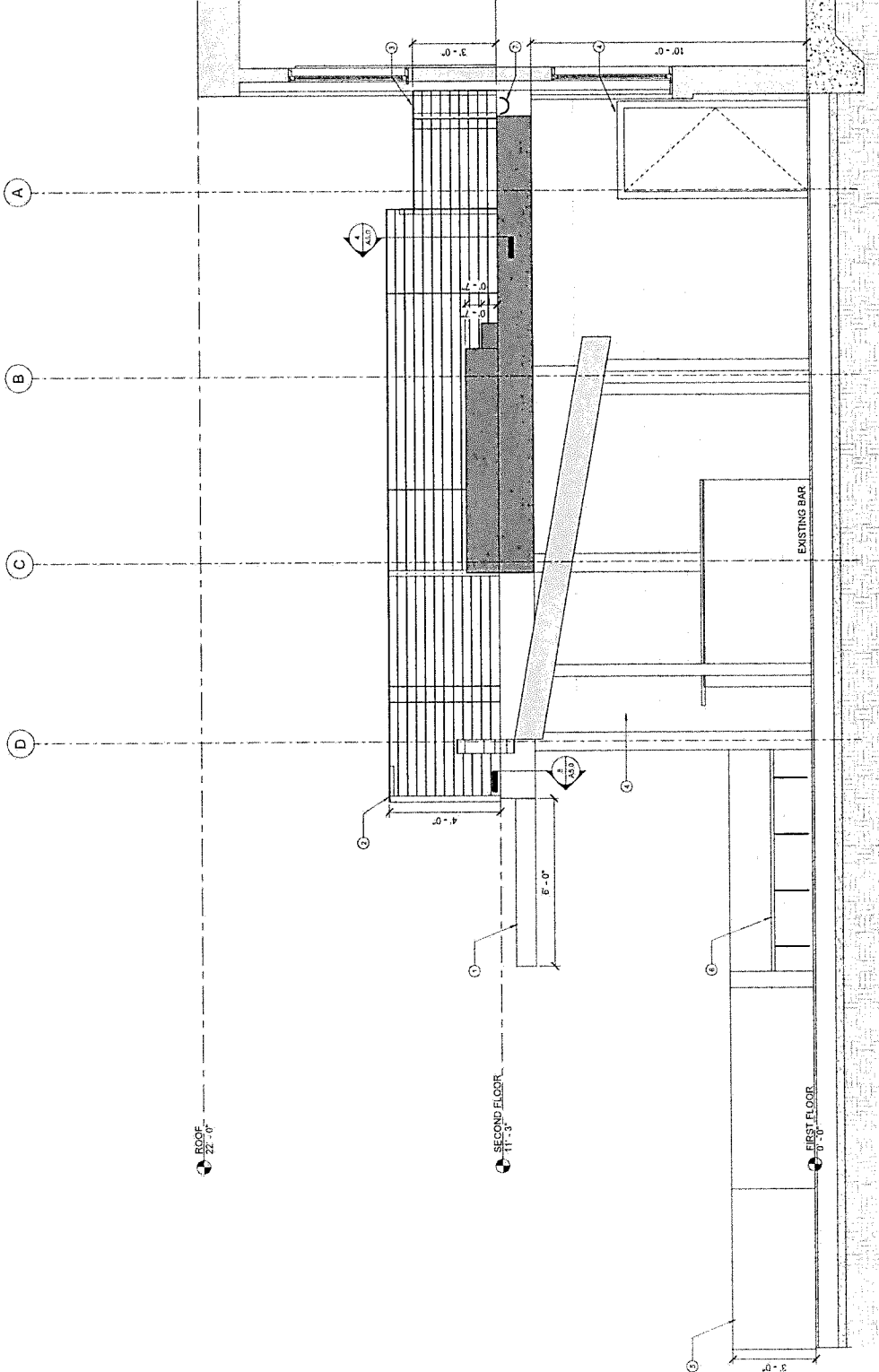
NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK

SECTION KEYNOTES

- CANOPY
- 4" GUARDRAIL WITH SS CABLES
- 3" GUARDRAIL WITH SS CABLES
- 12" PARTITION WALL
- 3" PARTITION WALL
- BUILT-IN BENCH WITH BRACKETS
- 6" COMMERCIAL DOWNSPOUT

CHECKED		BY	
DATE	JOB	DATE	JOB

SHEET # **A3.0**
 PROJECT DATE 02/21/2024
 ISSUE DATE 02/21/2024



1 SECTION
 1/2" = 1'-0"



120 Seward St.
 Anchorage, AK 99501
 Phone: 907.562.1100
 www.northwindak.com

210 ADMIRAL WAY
 JUNEAU, AK

NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK

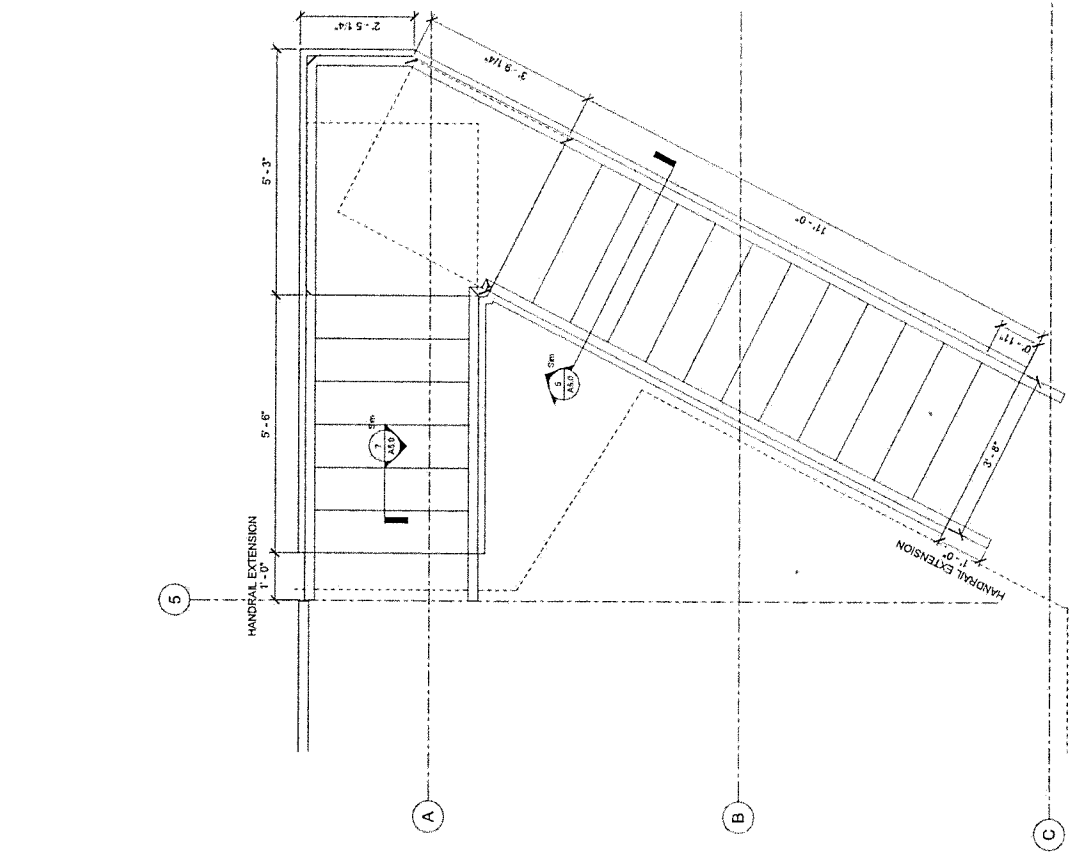
SHEET TITLE
ENLARGED PLANS

CHECKED: JB
 DRAWN: SCC

SHEET # **A4.0**
 PLOT DATE 02/21/2024
 ISSUE DATE 02/21/2024

GENERAL NOTES

- CONTRACTOR TO BE IN COMPLIANCE WITH ALL LOCAL & FEDERAL BUILDING CODES.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS BEFORE WORK & NOTIFY ARCHITECT OF ANY DISCREPANCIES TO AS-BUILT CONDITIONS.
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- THE CONTRACTOR SHALL PROVIDE REFUSE SERVICES. A LOCATION NEAR THE BUILDING WILL BE DESIGNATED FOR ALL WASTE DELIVERIES AND STORAGE REQUIREMENTS. TO BE COORDINATED WITH THE BUILDING MANAGER.
- PROTECT EXTERIOR & RELITE WINDOWS AT ALL TIMES DURING CONSTRUCTION.
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- ALL DIMENSIONS ARE TO CENTERLINE OR FACE OF FINISH.

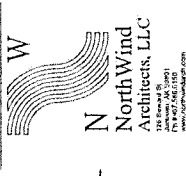


② EGRESS STAIRCASE-S
 3/16" = 1'-0"

① EGRESS STAIRCASE-N
 3/16" = 1'-0"

GENERAL NOTES

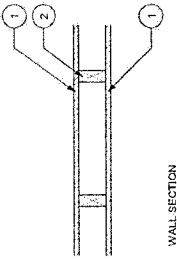
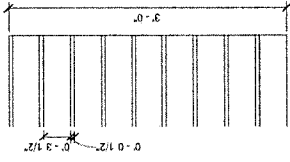
1. CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL LOCAL & FEDERAL BUILDING CODES.
2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK & NOTIFY ARCHITECT OF ANY DISCREPANCIES TO AS-BUILT CONDITIONS
3. DO NOT SCALE OFF OF DRAWINGS
4. DIMENSIONS ARE TO FINISH FACE
5. DIMENSIONS LOCATING OPENINGS ARE TO CENTERLINE OF OPENING, UNLESS NOTED.



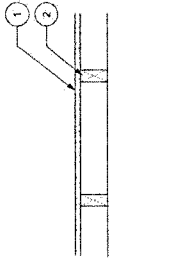
DETAIL KEY NOTES

1. 1X4 WOOD, STAINED, SPECIES AND COLOR TBD
2. WD FRAMING, EXTERIOR USE
3. 1/2" BAR TOP WITH BACKSPASH
4. METAL EGRESS STAIRCASE
5. GROOVED WOOD TREADS, EGRESS PATHS TO BE SLIP RESISTANT
6. SOLID RISERS, PER IBC EGRESS STANDARDS
7. MTL STRINGER (2) PER STAIRCASE, INSET APPROX. 1/2" FROM EDGE OF STAIR
8. WOOD CONTINUOUS HANDRAIL, SPECIES AND COLOR TBD
9. STAINLESS STEEL CABLES, SPACED 4" O.C. NO OPENINGS SHALL ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER
10. MTL FIN BALUSTER
11. WOOD OR SYNTHETIC WD DECKING, TBD
12. SLEEPER SPACERS
13. MEMBRANE
14. PLYWOOD
15. STRUCTURE, SEE STRUC. SHEETS
16. 1X WOOD INFILL, SPECIES AND COLOR TBD

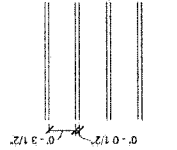
ELEVATION



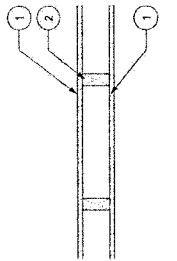
WALL SECTION



WALL SECTION



ELEVATION

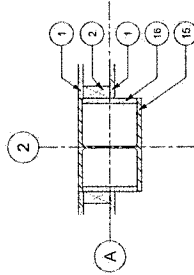


WALL SECTION

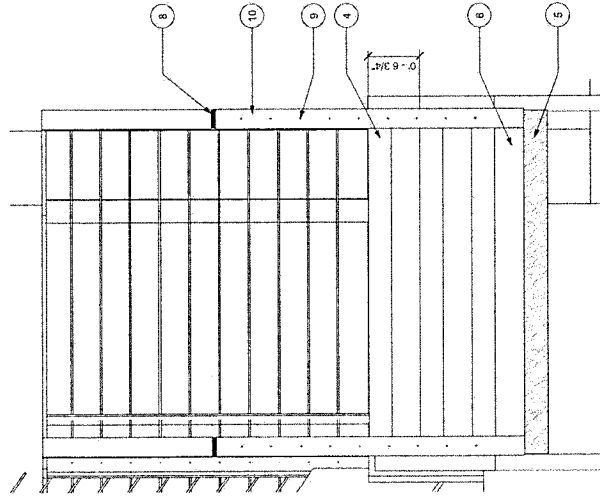
② P-2 PARTITION WALL
1 1/2" = 1'-0"

③ P-3 PARTITION WALL
1 1/2" = 1'-0"

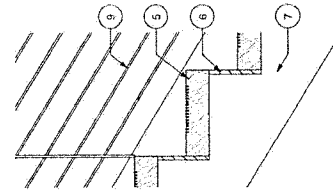
④ P-1 PARTITION WALL
1 1/2" = 1'-0"



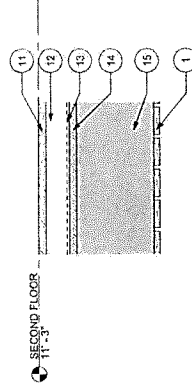
⑤ COLUMN DETAIL
1 1/2" = 1'-0"



⑥ RAILING DETAIL
1 1/2" = 1'-0"



⑦ STAIR DETAIL
1 1/2" = 1'-0"



⑧ DECK DETAIL
1 1/2" = 1'-0"

NWA 2350- 210 ADMIRAL WAY GRIZ BAR DECK

210 ADMIRAL WAY
JUNEAU, AK

SHEET TITLE:
DETAILS

CHECKED	JB
DRAWN	SCC
DATE	02/21/2024

SHEET #	A5.0
DATE	02/21/2024
ISSUE DATE	02/21/2024



(907) 586-0715
 CDD_Admin@juneau.gov
 www.juneau.org/community-development
 155 Heritage Way • Juneau, AK 99801

Griz Bar Deck

Case Number: PAC2024-007 OTC
 Applicant: Shannon Crossley – Northwind Architecture, for Blake Rider
 Property Owner: 210admiraltyway LLC C/O Juneau Real Estate; C/O Juneau Real Estate
 Property Address: 206 Admiral Way; 208 Admiral Way; 210 Admiral Way; 212 Admiral Way
 Parcel Code Number: 1C070K820050
 Site Size: 8,091 square feet
 Zoning: MU (Mixed Use)
 Existing Land Use: Mixed Use

Conference Date: February 13, 2024
 Report Issued: February 27, 2024

DISCLAIMER: Pre-application conferences are conducted for the purpose of providing applicants with a preliminary review of a project and timeline. Pre-application conferences are not based on a complete application and are not a guarantee of final project approval.

List of Attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
Shannon Crossley	Applicant	Shannon@northwindarch.com
Forrest Courtney	Planning	Forrest.Courtney@juneau.gov

Conference Summary

Questions/issues/agreements identified at the conference that weren't identified in the attached reports. The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the pre-application conference.

The pre-application conference was completed over the counter.

Project Overview

The applicant is proposing a first-floor deck addition of 1,800 square feet and a second-floor deck addition of 1,163 square feet, including a catwalk, to be utilized by Griz Bar and as egress for the second floor of the nonresidential structure at 210 Admiral Way.



Conditional Use Permit Process:

- Submit the application and back-up materials (listed on ten back of the application).
 - Electronic submissions accepted at Permits@juneau.gov . Note that the permit center will call you for payment when the application is processed. Applications are submitted in the order in which they are received, and it may be a few days before you get a call.
- The project will be assigned to a planner. They will review submitted materials and coordinate where necessary. When the planner assesses the file is complete, they will schedule a hearing before the Planning Commission.
 - A notice will be sent to property owners within 500 feet of the project.
 - There will be two newspaper ads for the case.
 - The Applicant is required to post a Public Notice sign, which will be provided by CDD. The sign must be posted two weeks before the hearing.

- Staff will prepare a report analyzing the project and make a recommendation to the Commission. The report will be publicly available the week before the hearing.
- At the Planning Commission meeting, the project can be:
 - On the Consent Agenda, where it will be passed without discussion.
 - On the Regular Agenda:
 - The Director will briefly describe the project.
 - The Applicant has 15 minutes to describe the project.
 - The public has the opportunity to comment. There is usually a time limit of two to three minutes.
 - The Applicant has time to respond to issues raised.
 - Public comment is closed and there is no additional opportunity to participate.
- The Planning Commission will:
 - Approve the project
 - Approve the project with conditions (the most common outcome)
 - Deny the project
 - Continue the project – if more information is required or if the Commission runs out of time.
- The decision can be appealed for 20 days after the Notice of Decision is filed with the City Clerk. If the decision is appealed, the Applicant can continue with their project at their own risk.

Videos of the Planning Commission activities are posted on Assembly's Minutes and Agendas site. <ps://juneau-ak.municodemeetings.com/>

Planning Division

1. **Zoning** – Tideland's Addition Block 82, Lot 5 is zoned MU. The mixed use district is established to accommodate a mix of appropriate commercial and residential uses [CBJ 49.25.220]. The mixed use district, reflects the existing downtown development pattern and is intended to maintain the stability of the downtown area. Multifamily residential uses are allowed and encouraged [CBJ 49.25.220(a)].

Map M of the CBJ Comprehensive Plan (2013) shows the lot is planned for Traditional Town Center.



The Comprehensive Plan defines Traditional Town:

These lands are characterized by high density residential and non-residential land uses in downtown areas and around shopping centers, the University, major employment centers and public transit corridors, as well as other areas suitable for a mixture of retail, office, general commercial, and high density residential uses at densities at 18 or more residential units per acre. Residential and non-residential uses could be combined within a single structure, including off-street parking. Ground floor retail spaces facing roads with parking behind the retail and housing above would be an appropriate and efficient use of the land.

2. Table of Permissible Uses –

Based on the approximate dimensions provided by the applicant.

Professional Office Space: allowed with department approval (TPU 3.100)

Commercial Retail: allowed with department approval (TPU 2.120)

Restaurants, bars without drive through service: allowed with Planning Commission approval (TPU 8.100)

Outdoor activity conducted outside enclosed buildings or structures with capacity for more than 20 people: allowed with Planning Commission approval (TPU 6.266)

The 9,056 square foot nonresidential building contains professional offices, commercial retail, associated storage space, and common areas. The applicant's request for a 1st and 2nd story deck addition will increase the nonresidential building's square footage to 12,019 square feet, exceeding the maximum square footage for a minor development in commercial and mixed use districts [CBJ 49.25.300(c)(3)(D)].

A major development requires a conditional use permit from the commission [CBJ 49.25.300].

Note: The applicant should likely have been required to receive a Conditional Use Permit when the Griz Bar opened in 2020 [BLD20200074] based on capacity and nonresidential use of more than 10,000 square feet in a mixed use district. This is no fault of the applicant and occurred during the outbreak of COVID-19 when CBJ regulations were more flexible to provide residents with outdoor opportunities.

3. **Setbacks** – The mixed use zoning district has a zero-foot setback from all lot lines [CBJ 49.25.400]. Building setbacks are defined on Sheet No. A1.0 of plans provided by the applicant appear within lot boundaries and do not encroach on the established 122-square-foot right-of-way easement.
4. **Height** – The mixed use zoning district has no maximum height restrictions [CBJ 49.25.400]. The height of the second-story deck, including guard rails as defined on Sheet A2.0 of the plans provided by the applicant, is approximately 15 feet 3 inches.

The applicant had identified a canopy on the submitted materials page. The applicant should review the definition of a canopy in Title 49 and determine whether it should be identified as such.
5. **Access** – The property is accessed via Admiral Way and Marine Way.
6. **Parking & Circulation**– The lot falls within the *No Parking Required Area* [Ordinance No. 2022-04(b)] and will not require additional parking [CBJ 49.40.200(a)(2)].
7. **Lot Coverage** – The mixed use zoning district has no maximum lot coverage restrictions [CBJ 49.25.400].
8. **Vegetative Coverage** – The mixed use zoning district does not have a minimum vegetative cover requirement [CBJ 49.50.300].
9. **Lighting** – Not applicable to this application. Lighting is reviewed during the building permit process. Lighting should be downward cast and not on neighboring lots.
10. **Noise** – The noise difference with the addition of a second-story deck for sitting would be consistent with mixed use district standards.

11. **Flood** – The lot is not in a mapped flood hazard area.
12. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement** – The lot is within the Low Avalanche Hazard area.
13. **Wetlands** – A wetlands fill may require a United States Army Corps of Engineers permit, you can contact them at 907-753-2689 for additional information.
14. **Habitat** – Check with the U.S. Fish and Wildlife on the presence of eagle nests in the area. The presence of eagle nests may impact construction scheduling. No anadromous waterbodies are on the subject parcel, or within 50 feet.
15. **Plat or Covenant Restrictions** –The applicant has accounted for the right-of-way easement that exists on the lot.

A CERTAIN TRACT OR PARCEL OF LAND LYING AND BEING SITUATED WITHIN LOT NO. 5, BLOCK 82, ALASKA TIDELANDS ADDITION SURVEY NO. 3, CITY AND BOROUGH OF JUNEAU, FIRST JUDICIAL DISTRICT, STATE OF ALASKA BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS;

BEGINNING AT THE WESTERLY MOST CORNER OF LOT 5, IDENTICAL TO THE SOUTHERLY MOST CORNER OF LOT 3, BLOCK 82 ALASKA TIDELANDS ADDITION SURVEY NO. 3 SAID POINT BEING ON THE NORTHERLY RIGHT-OF-WAY LIMITS OF MARINE WAY, THENCE ALONG THE WESTERLY LIMITS OF THIS DESCRIPTION IDENTICAL WITH THE COMMON BOUNDARY OF LOTS 3 AND 5 HEREINBEFORE DESCRIBED N60°31'00" E - 4.27' TO THE NORTHERLY MOST CONER OF THIS DESCRIPTION; THENCE DEPARTING AFOREMENTIONED COMMON BOUNDARY LINE, CROSSING LOT 5 BLOCK 82 TIDELANDS SURVEY NO. 3 S37°12'25" E - 15.55' TO A POINT OF CURVATURE; THENCE ALONG A 94.00' RADIUS CURVE TO THE LEFT, THROUGH AN ARC OF 16°09'32", AN ARC LENGTH OF 26.51' (CHORD = S45°17'11"E - 26.42') TO THE EASTERLY MOST CORNER OF THIS DESCRIPTION BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LIMITS OF MARINE WAY; THENCE ALONG SAID RIGHT-OF-WAY LIMITS BEING THE SOUTHER BOUNDARY OF THIS DESCRIPTION ALONG AN 84.00' RADIUS CURVE TO THE RIGHT, THROUGH AN ARC OF 29°40'32", AN ARC LENGTH OF 43.51' (CHROD = N47°50'57" W – 43.02') TO THE TRUE POINT AND PLACE OF BEGINNING.

CONTAINING 122 SQUARE FEET, MORE OR LESS.

16. **Traffic** – Applicant submitted approximate square footage of use on the lot. These approximations are acceptable for Pre-Application purposes; however, more defined dimensions should be submitted with the Conditional Use Permit application.

Use	Total Sq. Ft.	Trips Generated Per 1,000 Sq. Ft.	Total Trips
Convenience Market ^A with Storage	2,000sf	32.60	65.20
Apparel Store ^B with Storage	2,000sf	4.20	8.40
Single Tenant Office ^C with Storage	4,000sf	11.65	46.60
Drinking Place ^D	2,963sf	15.49	46.47
Total ADTs:			166.67

Institute of Traffic Engineer's Trip Generation Manual, 9th Edition, Volume 3,

A: pages 1664, 1667

B: pages 1787, 1790

C: pages 1277, 1281

D: pages 1861, 1863

A development projected to generate fewer than 250 ADT shall not be required to have a traffic impact analysis [CBJ 49.40.300(a)(2)].

Building Division

17. **Building** – Proposed project would require a building permit. Submittal requirements shall be determined during the permitting process.
18. **Outstanding Permits** – *(Note: does not include all outstanding permits on property):*
 - a. BLD20230252 – “Seasonal placement of Griz Bar for 2023 season”
 - b. BLD20210333 – “Install two 100 gallon LP tanks to supply heater and firepits”
 - c. BLD20200074 – “Temporary seasonal structure for AK Grizzly Bar. MODIFIED 7/14/20 to expand deck and install propane tank”

General Engineering/Public Works

19. **Engineering** – No comments at this time.
20. **Drainage** – No comments at this time.
21. **Utilities** – No comments at this time.

Fire Marshal

22. **Fire Items/Access** – No comments at this time.

Other Applicable Agency Review

23. Alcohol Beverage Control Board – Applicant has submitted the project independently for review.

List of required applications

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

1. Development Permit Application
2. Conditional Use Permit Application
3. [Building Permit Application](#)

Additional Submittal Requirements

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

1. A copy of this pre-application conference report.
2. Accurate square footage of current and requested uses.

Exceptions to Submittal Requirements

Submittal requirements that staff has determined **not** to be applicable or **not** required, given the specifics of the development proposal, are listed below. These items will **not** be required in order for the application to be reviewed.

Fee Estimates

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

1. Public Notice Sign: \$150.00. \$100.00 is refundable if the sign is returned the Monday following the Planning Commission meeting.
2. Class III use: \$750.00 [CBJ 49.85.100 (3)(C)(i)].

For informational handouts with submittal requirements for development applications, please visit our website at www.juneau.org/community-development.

Submit your Completed Application

You may submit your application(s) online via email to permits@juneau.gov

OR in person with payment made to:

City & Borough of Juneau, Permit Center
230 South Franklin Street
Fourth Floor Marine View Center
Juneau, AK 99801

Phone: (907) 586-0715

Web: www.juneau.org/community-development

Attachments:

- 49.15.330 – Conditional Use Permit
- 49.15.800 – Canopies and Awnings
- 49.25.300 – Table of Permissible Uses
- Conditional Use Permit Application
- Development Permit Application
- [Building Permit Application](#)

49.15.330 - Conditional use permit.

- (a) *Purpose.* A conditional use is a use that may or may not be appropriate in a particular zoning district according to the character, intensity, or size of that or surrounding uses. The conditional use permit procedure is intended to afford the commission the flexibility necessary to make determinations appropriate to individual sites. The commission may attach to the permit those conditions listed in subsection (g) of this section as well as any further conditions necessary to mitigate external adverse impacts. If the commission determines that these impacts cannot be satisfactorily overcome, the permit shall be denied.
- (b) *Preapplication conference.* Prior to submission of an application, the developer shall meet with the director for the purpose of discussing the site, the proposed development activity, and the conditional use permit procedure. The director shall discuss with the developer, regulation which may limit the proposed development as well as standards or bonus regulations which may create opportunities for the developer. It is the intent of this section to provide for an exchange of general and preliminary information only and no statement by either the developer or the director shall be regarded as binding or authoritative for purposes of this code. A copy of this subsection shall be provided to the developer at the conference.
- (c) *Submission.* The developer shall submit to the director one copy of the completed permit application together with all supporting materials and the permit fee.
- (d) *Director's review procedure.*
- (1) The director shall endeavor to determine whether the application accurately reflects the developer intentions, shall advise the applicant whether or not the application is acceptable and, if it is not, what corrective action may be taken.
 - (2) After accepting the application, the director shall schedule it for a hearing before the commission and shall give notice to the developer and the public in accordance with [section 49.15.230](#).
 - (3) The director shall forward the application to the planning commission together with a report setting forth the director's recommendation for approval or denial, with or without conditions together with the reasons therefor. The director shall make those determinations specified in subsections (1)(A)—(1)(C) of subsection (e) of this section.
 - (4) Copies of the application or the relevant portions thereof shall be transmitted to interested agencies as specified on a list maintained by the director for that purpose. Referral agencies shall be invited to respond within 15 days unless an extension is requested and granted in writing for good cause by the director.
 - (5) Even if the proposed development complies with all the requirements of this title and all recommended conditions of approval, the director may nonetheless recommend denial of

the application if it is found that the development:

- (A) Will materially endanger the public health or safety;
- (B) Will substantially decrease the value of or be out of harmony with property in the neighboring area; or
- (C) Will not be in general conformity with the land use plan, thoroughfare plan, or other officially adopted plans.

(e) *Review of director's determinations.*

(1) At the hearing on the conditional use permit, the planning commission shall review the director's report to consider:

- (A) Whether the proposed use is appropriate according to the table of permissible uses;
- (B) Whether the application is complete; and
- (C) Whether the development as proposed will comply with the other requirements of this title.

(2) The commission shall adopt the director's determination on each item set forth in paragraph (1) of this subsection (e) unless it finds, by a preponderance of the evidence, that the director's determination was in error, and states its reasoning for each finding with particularity.

(f) *Commission determinations; standards.* Even if the commission adopts the director's determinations pursuant to subsection (e) of this section, it may nonetheless deny or condition the permit if it concludes, based upon its own independent review of the information submitted at the hearing, that the development will more probably than not:

- (1) Materially endanger the public health or safety;
- (2) Substantially decrease the value of or be out of harmony with property in the neighboring area; or
- (3) Lack general conformity with the comprehensive plan, thoroughfare plan, or other officially adopted plans.

(g) *Specific conditions.* The commission may alter the director's proposed permit conditions, impose its own, or both. Conditions may include one or more of the following:

- (1) *Development schedule.* A reasonable time limit may be imposed on construction activity associated with the development, or any portion thereof, to minimize construction-related disruption to traffic and neighborhood, to ensure that development is not used or occupied prior to substantial completion of required public or quasi-public improvements, or to implement other requirements.
- (2) *Use.* Use of the development may be restricted to that indicated in the application.

- (3) *Owners' association.* The formation of an association or other agreement among developers, homeowners or merchants, or the creation of a special district may be required for the purpose of holding or maintaining common property.
- (4) *Dedications.* Conveyance of title, easements, licenses, or other property interests to government entities, private or public utilities, owners' associations, or other common entities may be required.
- (5) *Performance bonds.* The commission may require the posting of a bond or other surety or collateral approved as to form by the city attorney to guarantee the satisfactory completion of all improvements required by the commission. The instrument posted may provide for partial releases.
- (6) *Commitment letter.* The commission may require a letter from a public utility or public agency legally committing it to serve the development if such service is required by the commission.
- (7) *Covenants.* The commission may require the execution and recording of covenants, servitudes, or other instruments satisfactory in form to the city attorney as necessary to ensure permit compliance by future owners or occupants.
- (8) *Revocation of permits.* The permit may be automatically revoked upon the occurrence of specified events. In such case, it shall be the sole responsibility of the owner to apply for a new permit. In other cases, any order revoking a permit shall state with particularity the grounds therefor and the requirements for reissuance. Compliance with such requirements shall be the sole criterion for reissuance.
- (9) *Avalanche areas.* Development in moderate and severe avalanche hazard areas shown on the Avalanche Hazard Designation Mapping, dated April 27, 2022, and attached to Serial No. 2023-18(am) as Appendix A, must minimize the risk to life and property.
- (10) *Habitat.* Development in the following areas may be required to minimize environmental impact:
 - (A) Developments in wetlands and intertidal areas.
- (11) *Sound.* Conditions may be imposed to discourage production of more than 65 dBa at the property line during the day or 55 dBa at night.
- (12) *Traffic mitigation.* Conditions may be imposed on development to mitigate existing or potential traffic problems on arterial or collector streets.
- (13) *Water access.* Conditions may be imposed to require dedication of public access easements to streams, lake shores and tidewater.
- (14) *Screening.* The commission may require construction of fencing or plantings to screen the development or portions thereof from public view.

- (15) *Lot size or development size.* Conditions may be imposed to limit lot size, the acreage to be developed or the total size of the development.
- (16) *Drainage.* Conditions may be imposed to improve on and off-site drainage over and above the minimum requirements of this title.
- (17) *Lighting.* Conditions may be imposed to control the type and extent of illumination.
- (18) *Other conditions.* Such other conditions as may be reasonably necessary pursuant to the standards listed in subsection (f) of this section.

(Serial No. 87-49, § 2, 1987; Serial No. 2006-15, § 2, 6-5-2006; Serial No. 2015-03(c)(am), § 9, 8-31-2015; Serial No. 2017-29, § 3, 1-8-2018, eff. 2-8-2018; Serial No. 2023-18(am), § 3, 12-11-2023, eff. 1-11-2024)

49.15.800 - Purpose.

It is the purpose of this chapter to authorize canopy and awning encroachments into public ways, to provide standards for construction of canopies and awnings, and to provide a permitting process. The CBJ requires canopies in the Historic District, and encourages the construction of canopy and awning treatments to protect pedestrians from the elements in all zoning districts.

(Serial No. 2007-11, § 2, 4-23-2007)

49.15.810 - Application.

Canopies and awnings are permitted in all zoning districts. The permitting provisions of this chapter apply to canopies and awnings located above public ways, including the Seawalk. In the Downtown Historic District, canopies, consistent with the Downtown Historic District design guidelines, are required for all new construction and when exterior work is proposed to exceed a value of \$25,000.

(Serial No. 2007-11, § 2, 4-23-2007)

49.15.820 - Canopy permit required.

- (a) No person shall construct or maintain a canopy, awning, or cornice without a canopy permit issued pursuant to this chapter.
- (b) The canopy permit application shall include the following:
 - (1) A complete application for a building permit, and the required building permit fee.
 - (2) A site plan, along with scaled drawings of the existing structure to which the canopy will be affixed, showing the full width of the public way upon which the encroachment is proposed, and the extent of the requested encroachment. The Engineering Director, in his or her discretion, may require additional information.
- (c) The application shall be reviewed and a permit issued upon a finding that the proposed construction or other work complies with the building code, the canopy and awning standards listed in section 49.15 below, the setback provisions in CBJ 49.25.430, and any other applicable code requirements.

(Serial No. 2007-11, § 2, 4-23-2007)

49.15.830 - Canopy and awning standards.

- (a) Canopies and awnings shall comply with the following:
 - (1) Canopies or awnings shall be approved only if a sidewalk, curb, and gutter extending the entire length of the property frontage exists or is to be constructed under the same permit

application as the awning or canopy.

- (2) Vertical support structures from the pedestrian way are prohibited.
- (3) Canopies shall be designed to direct drainage water into an approved drainage way.
- (4) No awning or canopy shall be constructed in a location or manner which would obstruct, obscure, or interfere with traffic, a traffic control device, street sign, streetlight or utility pole.

(b) In the MU zoning district, canopies and awnings shall meet the following requirements in addition to those in subsection (a), above.

- (1) Canopies and awnings shall span the entire frontage of a building.
- (2) Canopy height, as measured from the sidewalk to the lowest point on the canopy, shall be a minimum of eight feet and a maximum of ten feet above the sidewalk. Canopies shall match the existing canopy heights of adjacent structures, where practicable.
- (3) For new construction, any clerestory must be located above any canopy or awning.

(Serial No. 2007-11, § 2, 4-23-2007)

49.15.850 - Indemnification.

Permittees shall sign an agreement, on a form provided by CBJ, containing the following indemnity and hold harmless provision, and are bound by the following provision: "The holder of a canopy permit issued under this chapter, and the holder's successors, heirs and assigns agrees to forever indemnify, hold harmless, and defend the City and Borough of Juneau against all claims and suits of any nature arising in any manner out of the issuance or existence of the permit, the existence of the canopy, awning, cornice, or other encroachment in the public way, or for any other reason related to the existence of the canopy, awning, cornice, or other encroachment, provided, no indemnification is required on account of injury to persons or damage to property caused by the sole negligence of CBJ."

(Serial No. 2007-11, § 2, 4-23-2007)