



# ALLOWABLE/CONDITIONAL USE PERMIT APPLICATION

See reverse side for more information regarding the permitting process and the materials required for a complete application.

**NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.**

To be completed by Applicant

**PROJECT SUMMARY**

Construct a cast-in-place and stacked concrete block walls at the site of the former Elks Lodge, Gastineau Apartments and Guunakadeit Park, to stabilize conditions. **Also includes expansion of the existing food court.**

**TYPE OF ALLOWABLE OR CONDITIONAL USE PERMIT REQUESTED**

~~Accessory Use Permit (AUP)~~

Use Listed in 49.25.300 – Table of Permissible Uses (USE)

Table of Permissible Uses Category: **8.300 Seasonal Open-Air Food Service Without a Drive-Through**

**IS THIS A MODIFICATION or EXTENSION OF AN EXISTING APPROVAL?**

YES – Case # \_\_\_\_\_ NO

**UTILITIES PROPOSED**

WATER: Public On Site

SEWER: Public On Site

**SITE AND BUILDING SPECIFICS**

Total Area of Lot 31,078 square feet Total Area of Existing Structure(s) 220 square feet

Total Area of Proposed Structure(s) 220 square feet No new permanent structures

**EXTERNAL LIGHTING**

Existing to remain	X No	Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures
Proposed	No	Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures

**ALL REQUIRED DOCUMENTS ATTACHED**

*If this is a modification or extension include:*

**Narrative including:**

- Current use of land or building(s)
- Description of project, project site, circulation, traffic etc.
- Proposed use of land or building(s)
- How the proposed use complies with the Comprehensive Plan

- Notice of Decision and case number
- Justification for the modification or extension
- Application submitted at least 30 days before expiration date

**Plans including:**

- Site plan
- Floor plan(s)
- Elevation view of existing and proposed buildings
- Proposed vegetative cover
- Existing and proposed parking areas and proposed traffic circulation
- Existing physical features of the site (e.g.: drainage, habitat, and hazard areas)

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

ALLOWABLE/CONDITIONAL USE FEES				
	Fees	Check No.	Receipt	Date
Application Fees	\$ <u>500.00</u>	<u>Class II</u>		
Admin. of Guarantee	\$ <u>—</u>			
Adjustment	\$ <u>—</u>			
Pub. Not. Sign Fee	\$ <u>50.00</u>			
Pub. Not. Sign Deposit	\$ <u>100.00</u>			
<b>Total Fee</b>	<b>\$ <u>650.00</u></b>			

This form and all documents associated with it are public record once submitted.

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number	Date Received
<u>USE24-003</u>	<u>1-23-24</u>





# DEVELOPMENT PERMIT APPLICATION

**NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.**

<b>PROPERTY LOCATION</b>	
Physical Address <b>109, 127 and 139 South Franklin Street, Juneau Alaska 99801</b>	
Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) <b>Juneau Townsite Block 13</b>	
Parcel Number(s) <b>Lots 1A, 2A, 3, 4, 6 Fraction, 7, 8, 9</b>	
<input checked="" type="checkbox"/> This property is located in the downtown historic district <input checked="" type="checkbox"/> This property is located in a mapped hazard area, if so, which <del>XXXXXX Hazard Zone</del> No longer in a regulated hazard area.	
<b>LANDOWNER/ LESSEE</b>	
Property Owner <b>Franklin Foods, LLC</b>	Contact Person <b>David McCasland</b>
Mailing Address <b>3294 Pioneer Ave, Juneau AK 99801</b>	Phone Number(s) <b>907-957-2212</b>
E-mail Address <b>davidmccasland907@gmail.com</b>	
<b>LANDOWNER/ LESSEE CONSENT</b>	
Required for Planning Permits, not needed on Building/ Engineering Permits.	
Consent is required of all landowners/ lessees. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner/ lessee's printed name, signature, and the applicant's name.	
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows:	
A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission.	
B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application.	
<b>David McCasland</b>	<b>Landowner</b>
Landowner/Lessee (Printed Name)	Title (e.g.: Landowner, Lessee)
<i>[Signature]</i>	<b>1/23/24</b>
X Landowner/Lessee (Signature)	Date
_____	_____
Landowner/Lessee (Printed Name)	Title (e.g.: Landowner, Lessee)
X _____	_____
Landowner/Lessee (Signature)	Date
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.	
<b>APPLICANT</b> <span style="float: right;">If same as LANDOWNER, write "SAME"</span>	
Applicant (Printed Name) <b>PND Engineers</b>	Contact Person <b>Chris Gianotti</b>
Mailing Address <b>9360 Glacier Highway, St 100, Juneau AK 99801</b>	Phone Number(s) <b>907=463-7001</b>
E-mail Address <b>cgianotti@pndengineers.com</b>	
X <b>Christopher M Gianotti</b>	<b>2024-01-23</b>
Applicant's Signature	Date of Application

To be completed by Applicant

DEPARTMENT USE ONLY BELOW THIS LINE

Intake Initials
<i>JLS</i>

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number	Date Received
<i>USE24-003</i>	<i>1-23-24</i>





ENGINEERS, INC.

January 23, 2024

PND 222070

Mr. David McCasland  
Franklin Foods, LLC  
3294 Pioneer Avenue  
Juneau, Alaska 99801

Re: Franklin Foods Food Court - Grading Permit  
CBJ Bldg 2023-1002

Dear David;

PND Engineers, Inc. (PND) is pleased to provide this narrative to accompany the application for the conditional use permit application for the Franklin Foods Food Court. The narrative includes the following:

- Current Use of Land and Proposed Use of the land.
- Description of project, project site, circulation, traffic
- How the Use complies with the Comprehensive Plan

### **Project Background**

The project site is a previously developed, sloped site between Gastineau Avenue and Franklin Street and between 1<sup>st</sup> Street and Rawn Way Stairs in Downtown Juneau. For the purposes of this report, plan north is the direction from Rawn Way to 1<sup>st</sup> Street.

The site consists of 8 lots that once included the Rockwell also known as the former Elks Lodge, the Gastineau Apartments and Gunakadeit Park otherwise known as the Pocket Park. The Elks Lodge building and Gastineau Apartments were constructed in the early 20<sup>th</sup> Century. The Elks Lodge was demolished in late 2023. The Gastineau Apartments and structures at Gunakadeit Park were demolished in 2015. A portion of the foundations of both buildings remain on site.

When demolishing the Elks Club Building the east wall collapsed as it was very poorly constructed. The demolition contractor re-graded the slope to between a 1.5 to 1 to 1 to 1 slope (horizontal to vertical) or 34 to 45 degrees. The slope was covered with a polyethylene tarp to minimize moisture intrusion to help stabilize the slope. This is sloped condition is temporarily stable.

### **Current Use and Proposed Use**

Current use of the site is a food court where vendors prepare and sell food and drinks to customers who eat at tables on site or take the food and drink with them elsewhere. There is an existing one-story, wood-framed structure for one vendor which was built under a previous building permit. Other structures are portable and those include a restroom, a bar, a kitchen, a storage building, and seasonal fabric pavilion like tents. The food court operates from May until October 1, when weather

discourages customers to the point that operations are not feasible. The use after the project is complete is the same as what the current use is.

#### Proposed Project

The proposed site development includes construction of a cast in place (CIP) concrete retaining wall along the east side of the footprint of the former Elks Lodge building and then continuing south of the CIP wall will be a geogrid-reinforced, stacked concrete block wall. The stacked block wall will extend from the south east corner of the former Elks Lodge building footprint to Rawn Way. The top of the CIP wall will be approximately 16 feet above the top of the slab of the Elks Lodge, part of which is to remain in place. A portion of the slab will be replaced. The slab will be part of the plaza for food carts and customer queuing and seating. The top elevation of the stacked block wall will be 2 feet below the top of the CIP wall and the base will be 20 feet below. West of the stacked block wall will be a graded, gravel-surfaced plaza for food carts and seating for customers. Both walls will be backfilled with well graded, free-draining soils and have drains installed behind them.

The above-described improvements are needed to stabilize existing conditions and create a more pleasingly aesthetic site for food court operations.

The retained fill will be surfaced with gravel, graded to drain, and used as a parking lot. Safety barriers will be constructed at the top of the retaining walls. Drain lines will be installed behind the retaining wall to both improve stability of the retained fill and intercept and control water across the food court.

The east edge, part of the south edge and part of the north edge of the parking lot will have an excavated slope, with a 2:1 (horizontal to vertical) or approximately 26.6-degree slope to the horizontal. The existing soils will be stable if graded to that slope.

Along the Franklin Street sidewalk and south of the former Elks Lodge building there will be a stacked concrete block, gravity retaining wall along the street sidewalk to support an elevated seating area. This area will have a top surface level with the Elks Lodge slab extending south approximately 78 feet and extend 47 feet east of the Franklin Street sidewalk. The south and east sides of this area will also be retained by stacked concrete block, gravity retaining walls. Walls will vary in height from several feet high at the Elks Lodge slab to remain to 6.5 feet tall at the south end. All walls will have a safety rail at the top.

#### Circulation and Traffic

Most customers of the food court are pedestrians. Most of the pedestrians are passengers and crew members from cruise ships. Some locals will drive to the site and use on-street parking before walking to the food court to buy and eat foods. All customers will likely go to adjacent and nearby businesses and shops.

The proposed improvements will stabilize the site and increase seating at the site, increase area for customer queuing lines.

The retained fill behind the retaining walls will provide 15 to 20 spaces of parking. This parking will be mainly for the vendor staff and customers that are local or those using cars to get to the site.



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Franklin Foods Food Court  
Grading Permit  
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The new area above the retained fill behind the retaining walls, via access from 1<sup>st</sup> Street, will also be a spot for a bear-resistant dumpster. It will not block access to Rawn Way or 1<sup>st</sup> Street. It will not block access to the food court.

*Compliance with the Comprehensive Plan*

The proposed improvements are to enhance the experience of being in Downtown Juneau by improving aesthetics, enhance tourist experience, offer a better experience for locals dining in downtown. This project will make the existing food court a more-attractive and safer component of the downtown neighborhood. The display of the historic plaque that was on the Elks Building and reuse of the designs cast in the ground level slab of the Elks Building will note the historic character of the site.

**Closing**

PND appreciates this opportunity to present this narrative for the grading permit to Mr. David McCasland for the Franklin Foods Improvements project. We hope this narrative satisfies the project permit parameters. Please contact us with any questions regarding the contents of this document.

Sincerely,  
PND Engineers, Inc. | Juneau Office



Chris Gianotti P.E., S.E.  
Senior Engineer



ENGINEERS, INC.

January 9, 2024

PND 222070

Mr. David McCasland  
Franklin Foods, LLC  
3294 Pioneer Avenue  
Juneau, Alaska 99801

Re: Franklin Foods Hillside Endorsement  
CBJ Bldg 2023-1002

Dear David;

PND Engineers, Inc. (PND) is pleased to provide this Engineering Geology Report for the Franklin Foods Improvements Project. The purpose of this report is to provide a summary of existing site geology, observed geological processes and engineering data relevant to proposed development. This report is being submitted to satisfy the City and Borough of Juneau (CBJ) Hillside Endorsement section requirements of the Land Use Code for areas with slopes that exceed 18%.

### **Project Background**

The project site is a previously developed, sloped site between Gastineau Avenue and Franklin Street and between 1<sup>st</sup> Street and Rawn Way Stairs in Downtown Juneau. For the purposes of this report, plan north is the direction from Rawn Way to 1<sup>st</sup> Street.

The site consists of 8 lots that once included the Rockwell also known as the former Elks Lodge, the Gastineau Apartments and Gunakadeit Park otherwise known as the Pocket Park. The Elks Lodge building and Gastineau Apartments were constructed in the early 20<sup>th</sup> Century. The Elks Lodge was demolished in late 2023. The Gastineau Apartments and structures at Gunakadeit Park were demolished in 2015. A portion of the foundations of both buildings remain on site.

The proposed site development includes construction of a cast in place (CIP) concrete retaining wall along the east side of the footprint of the former Elks Lodge building and then continuing south of the CIP wall will be a geogrid-reinforced, stacked concrete block wall. It will extend from the south east corner of the former Elks Lodge building footprint to Rawn Way. The top of the CIP wall will be approximately 16 feet above the top of the slab of the Elks Lodge, part of which is to remain in place. A portion of the slab will be replaced. The slab will be part of the plaza for food carts and customer queuing and seating. The top elevation of the stacked block wall will be 2 feet below the top of the CIP wall and the base will be 20 feet below. West of the stacked block wall will be a graded, gravel surfaced plaza for food carts and seating for customers. Both walls will be backfilled with well graded, free-draining soils and have drains installed behind them.



The retained fill will be surfaced with gravel, graded to drain, and used as a parking lot. Safety barriers will be constructed at the top of the retaining walls.

The east edge, part of the south edge and part of the north edge of the parking lot will have an excavated slope, with a 2:1 (horizontal to vertical) or approximately 26.6-degree slope to the horizontal.

South of the former Elks Lodge building there will be a stacked concrete block, gravity retaining wall along Franklin Street sidewalk to support an elevated seating area. This area will have a top surface level with the Elks Lodge slab extending south approximately 78 feet and extend 47 feet east of the Franklin Street sidewalk. The south and east sides of this area will also be retained by stacked concrete block, gravity retaining walls. Walls will vary in height from several feet high at the Elks Lodge slab to remain to 6.5 feet tall at the south end. All walls will have a safety rail at the top.

### **Site Geology**

Limited geotechnical reconnaissance was completed for this project. Three test pits were excavated west of the west foundation wall of the former Gastineau apartments east wing and one test pit was excavated east of the same foundation wall. At each test pit abandoned foundation walls and footings surrounded by gravelly sand was found to a depth of approximately 4 feet below the ground surface. Below the footings test pits revealed a gravel base course underlain with a firm, sandy silty material with shell fragments, which is believed to be native, natural soils.

During site demolition, the excavation contractor further revealed the existing abandoned lowest level slab of the east wing of the Gastineau Apartments and the adjacent retaining walls east of the slab. Backfill around the retaining walls is a loose, very wet, sandy-gravel to gravelly-sand material.

The only likely active geologic process affecting the site is isostatic rebound, and is not expected to have any adverse impacts. There are no substantial indications of slope instability on the hillside.

### **Recommendations**

The retaining walls need to be designed and constructed for global stability as well as internal stability to resist all lateral loads imposed by the retained fill with a surcharge of 50 psf on the fill which is appropriate for a parking area. The walls should be designed and constructed in accordance with the CBJ Building Code. Drains should be installed behind the walls and backfill shall be free-draining.

New excavated slopes should be stable for the soil conditions. For the soils encountered on site, that is sandy gravel to gravelly-sands, man-made fill, the slope of 2:1 (horizontal to vertical) should not be exceeded.

Preventing saturation and minimizing disturbance will be critical in maintaining stability. Rain gutters and other runoff from new development and the adjacent properties should be directed away from slopes or intercepted prior to reaching the excavated slopes. Riprap pads, landscaped vegetation or

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Franklin Foods Improvements  
Engineering Geology Report  
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other techniques to prevent erosion should be utilized when discharging runoff downhill. Previously-vegetated areas disturbed during construction should be stabilized through re-vegetation or other means such as large shot rock gravel or riprap. No slopes, either existing or constructed, should exceed 1.5H:1V unless designed or evaluated by a professional engineer.

**Closing**

PND appreciates this opportunity to present this Engineering Geology Report to Mr. David McCasland for the Franklin Foods Improvements project. We hope this report satisfies the project parameters. Please contact us with any questions regarding the contents of this report.

Sincerely,  
PND Engineers, Inc. | Juneau Office



Chris Gianotti P.E., S.E.  
Senior Engineer



# GENERAL NOTES

## GENERAL NOTES

### CRITERIA

CODE: 2012 EDITION OF INTERNATIONAL BUILDING CODE (IBC) AS AMENDED BY THE STATE OF ALASKA AND CITY AND BOROUGH OF JUNEAU  
 STRUCTURAL RISK CATEGORY: II

**LOADS:**  
 SURCHARGE ON RETAINED EARTH: 50 PSF  
 WIND: AS PER AASHTO  
 RAIN: AS PER AASHTO

**RAILING LOADS:**  
 50 POUNDS PER FOOT OR 200 POUND CONCENTRATED LOAD  
 50 PSF ON INTERMEDIATE POSTS, WIRES AND RAILS  
**VEHICLE BARRIER LOAD:**  
 200 POUNDS HORIZONTAL BETWEEN 18 INCHES AND 27 INCHES ABOVE DRIVING SURFACE  
**STRUCTURES AT ROADWAY:** AASHTO HL90 HIGHWAY LOADING

**FOUNDATION:**  
 FOUNDATION IS DESIGNED FOR A MAXIMUM ALLOWABLE BEARING PRESSURE OF 3,000 PSF.

### MATERIALS AND CONSTRUCTION

**EXCAVATE TO LIMITS SHOWN ON PLANS:** IN ACCORDANCE WITH OSHA AND STATE OF ALASKA DEPARTMENT OF LABOR REGULATIONS. VERIFY THAT CONDITIONS AT THE LIMIT OF EXCAVATION ARE FIRM NATIVE MATERIAL FREE OF TRASH, DEBRIS, ORGANICS, SOFT MATERIAL, AND MUCK ON BEDROCK OR BEDROCK. IF UNDESIRABLE CONDITIONS ARE FOUND, NOTIFY ENGINEER. REMOVE ANY UNDESIRABLE MATERIAL FROM SITE. REPORT TO ENGINEER CONDITIONS FOUND AT LIMIT OF EXCAVATION AND FIELD ADJUST BOTTOM OF FOOTING ELEVATION BASED ON CONDITIONS.  
 PROTECT EXISTING BURIED UTILITIES. LOCATE UTILITIES PRIOR TO EXCAVATION.

**BASE COURSE:** SHALL CONFORM TO SECTION 703-2.03 OF ALASKA DEPARTMENT OF TRANSPORTATION AND PUBLIC FACILITIES STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION, 2015 EDITION, GRADATION C1 OR D1. PLACE IN LIFTS NOT TO EXCEED 6 INCHES IN THICKNESS AND COMPACT EACH LIFT WITH A MINIMUM LEVEL OF EFFORT OF 6 PASSES WITH A WALK-BEHIND, VIBRATORY-PLATE COMPACTOR WITH A MINIMUM RATING OF 10,000 POUNDS.  
**RAIN ROCK:**  
 DRAIN ROCK SHALL BE UNIFORMLY GRADED, WASHED GRAVEL WITH STONE SIZE BETWEEN 1/2 INCH AND 1 INCH PLACED IN LIFTS NOT TO EXCEED 12 INCHES AND TAMP WITH EXCAVATOR BUCKET TO OBTAIN MAXIMUM DENSITY.  
**TRENCHING**  
 BED PILES IN GRAVELLY SAND WITH NO STONE SIZE GREATER THAN 1.5 INCHES. COMPACT BOTTOM OF TRENCH WITH THE MINIMUM LEVEL OF EFFORT OF 6 PASSES WITH A WALK-BEHIND, VIBRATORY-PLATE OR DOUBLE DRUM COMPACTOR. PLACE BEDDING IN LIFTS NOT TO EXCEED 8 INCHES IN LOSS, THICKNESS AND COMPACT WITH A WALK-BEHIND, VIBRATORY-PLATE OR DOUBLE DRUM COMPACTOR WITH A MINIMUM RATING OF 10,000 POUNDS.  
 PLACE WARNING TAPE 12 INCHES ABOVE PIPE. WARNING TAPE SHALL BE 6 INCHES WIDE, 4 MIL THICK POLYETHYLENE WITH BLACK LETTERING ON COLOR APPROPRIATE FOR PIPE TYPE BELOW.  
 BACKFILL TRENCHES WITH SUITABLE MATERIAL EXCAVATED FROM TRENCH OR IMPORTED, WELL-GRADED SANDY GRAVEL. PLACE IN LIFTS NOT TO EXCEED 8 INCHES IN LOOSE THICKNESS. COMPACT EACH LIFT WITH A WALK-BEHIND, VIBRATORY-PLATE OR DOUBLE DRUM COMPACTOR WITH A MINIMUM RATING OF 10,000 POUNDS.  
**DRAIN PIPE AND SEWER PIPE**  
 DRAIN PIPE SHALL BE EITHER PVC MEETING ASTM D3034 WITH SDR 35 OR CPP MEETING AASHTO M252 TYPE 5 DRINKED PIPE SHALL BE PERFORATED. PIPE SHALL HAVE BELL AND SPIGOT JOINTS. FITTINGS SHALL BE OF SAME MATERIAL AND COMPATIBLE WITH PIPE. SHIP, STORE, HANDLE AND INSTALL PER MANUFACTURER'S INSTRUCTIONS.  
**CONCRETE**  
 MIXINGS AND CURING OF CONCRETE AND SELECTION OF MATERIALS SHALL BE IN ACCORDANCE WITH THE IBC. PROPORTIONS OF AGGREGATE, CEMENT AND WATER SHALL BE DETERMINED BY TEST RESULTS WHICH CAN BE PLACED WITHOUT EXCESS SURFACE WATER. A MIX DESIGN WITH RECORD CYLINDER TEST RESULTS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO MOBILIZING CONCRETE EQUIPMENT TO THE SITE. MAXIMUM SLUMP SHALL BE 4 INCHES PRIOR TO ADDING PLASTICISERS OR WATER REDUCERS ON SITE. MAXIMUM SLUMP SHALL BE 4 INCHES PRIOR TO ADDING PLASTICISERS OR WATER REDUCERS ON SITE. MAXIMUM SLUMP SHALL BE 4 INCHES PRIOR TO ADDING PLASTICISERS OR WATER REDUCERS ON SITE. CONCRETE SHALL BE BETWEEN 5 AND 8 PERCENT.

CONCRETE REINFORCING SHALL COMPLY WITH ASTM A615 GRADE 60. LAP REINFORCING STEEL 50 BAR DIAMETERS UNLESS OTHERWISE NOTED.  
 REINFORCING SHALL BE SUPPORTED AND SECURED IN PLACE PRIOR TO CONCRETE PLACEMENT USING WELL-CURED CONCRETE BLOCKS OR APPROVED STEEL CHAIRS. WELDING OF REINFORCING IS PROHIBITED UNLESS SPECIFICALLY NOTED.  
 PROVIDE MINIMUM COVER AT REINFORCING BARS AS FOLLOWS: ANY CONCRETE CAST AGAINST EARTH 3 INCHES, EXPOSED TO EARTH OR WEATHER 2 INCHES.

EXTEND HORIZONTAL REINFORCING AT CORNERS OF WALLS AND FOOTINGS WITH A 90 DEGREE BEND AND A DIAMETER LAP OR CORNER BARS WITH 48 BAR DIAMETER LAP AT EACH LEG. MATCH ALL HORIZONTAL BARS.

**PRECAST CONCRETE BLOCKS**  
 PRECAST CONCRETE BLOCKS SHALL BE MADE WITH CONCRETE WITH A MINIMUM 28 DAY STRENGTH (c<sub>1</sub>) = 4,000 PSI. CONCRETE SHALL BE PLACED AND CURED IN ACCORDANCE WITH THE IBC. BLOCKS SHALL HAVE RUBS AND INDENTS AS MANUFACTURED BY ALASKA CONCRETE CASTING INC. OR APPROVED EQUAL. BLOCKS SHALL BE OF THE SIZE INDICATED ON THE PLANS.

**STRUCTURAL STEEL**  
 STEEL SHALL CONFORM TO THE FOLLOWING:

W SECTION ASTM A992  
 PLATES, CHANNELS ANGLES ASTM A 36  
 HPBE ASTM A 36 GRADE B  
 IBC ASTM A 300 GRADE C  
 HOLLOW TUBES ASTM A 500 GRADE C  
 ANCHOR BOLTS ASTM F 1554 GRADE 36  
 BOLTS STEEL TO STEEL ASTM A 325

STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE AISC CODE OF STANDARD PRACTICE WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AWS D1.1, STRUCTURAL WELDING CODE.

BOLTS DESIGNATED AS SUP CRITICAL (SC) SHALL BE TENSIONED USING TURN OF THE NUT METHOD.

ALL STEEL SHALL BE GALVANIZED AFTER FABRICATION PER ASTM A 125 AND A 153 AS APPROPRIATE.

**TIMBER FRAMING**  
 SPECIES AND GRADES: UNLESS NOTED OTHERWISE, ALL TIMBER 2 TO 4 INCHES THICK SHALL BE DOUG FIR OR GRADE, VISUALLY GRADED IN ACCORDANCE WITH THE WESTERN WOODS PRODUCTS ASSOCIATION, LATEST GRADING RULES. ALL SAWM FRAMING SHALL BE STAMPED WITH LUMBER SPECIES AND GRADE.

TIMBER SHALL BE FABRICATED AND JOINED TO CREATE SNUG TIGHT CONNECTIONS UNLESS NOTED OTHERWISE. ALL JOINTS AND BEAMS SHALL BE NOTED. HOLES FOR BOLTS SHALL BE NO GREATER THAN THE BOLT DIAMETER PLUS 1/8 INCH. BOLTS WILL BE HEADED WITH CONE POINT WELDED CONNECTIONS SHALL BE INSTALLED WITH GALVANIZED WASHERS UNDER THE HEAD AND NUTS. ALL WELDED CONNECTIONS SHALL BE CONNECTED USING GALVANIZED BOX NAILS.

TIMBER AND LUMBER NOTED AS TREATED SHALL BE PRESERVE PRESERVATIVE TREATED IN ACCORDANCE WITH AWWA C2 FOR IN GROUND CONTACT USING PRESERVATIVE APPROVED BY THE ENGINEER. TREAT ALL DAMAGE TO PRESERVE TREATED ENDS AND SURFACES IN ACCORDANCE WITH AWWA M-4 USING 2 COATS OF COPPER NAPHTHANATE SOLUTION AT DAMAGE, CUTS, HOLES, CHAMFERS, DAPS, COUNTERSINKS, ETC.

**PRECAST CONCRETE BLOCKS**  
 PRECAST CONCRETE BLOCKS SHALL BE MADE OF CONCRETE WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI, MADE FROM A MIX IN COMPLIANCE WITH ACI 318, WITH A MINIMUM CEMENT CONTENT OF 5.5 BAGS OF CEMENT PER CUBIC YARD, USING AGGREGATE WITH A MAXIMUM AGGREGATE SIZE OF 3/4 INCHES AND BE AIR ENTRAINED 50 AIR CONTENT IS BETWEEN 5 AND 8 PERCENT. BLOCKS SHALL BE INTERLOCKING, WITH A VERTICAL OFFSET OF 2 INCHES IN 2 VERTICAL FEET. BE STACKED IN A RUNNING BOND AND OF THE SIZE INDICATED. ANY DAMAGE TO THE EXPOSED FACE SHALL BE REPAIRED IN ACCORDANCE WITH THE MANUFACTURER AND ENGINEER APPROVAL.

**REINFORCING GRID**  
 STACKED CONCRETE BLOCK WALL REINFORCING GRID SHALL BE WIRAGRID 5XT AS MANUFACTURED BY MIRIF TENCATE OR APPROVED EQUAL. ANY SUBMITTAL FOR SUBSTITUTION SHALL INCLUDE THE TECHNICAL DATA SHEET WHICH INCLUDES STRENGTH AND DURABILITY CHARACTERISTICS. REINFORCING GRID SHALL BE PROVIDED IN THE MANNER AND AMOUNT AS SHOWN ON THE PLANS. THE GRID SHALL BE PLACED AND THE GRID PILES TO ANY BANDING OR TEARS OR DAMAGE THE SUBSEQUENT BLOCK SHALL BE PLACED AND THE GRID PILES TO A TAUT CONDITION AND SECURED WITH STAKES, GALVANIZED STAPLES OR ANOTHER APPROVED METHOD PRIOR TO PLACING ADDITIONAL LIFTS OF BACKFILL.

**STACKED BLOCK WALL BACKFILL**  
 BACKFILL BETWEEN GEORGRIDS AT GEORGRID REINFORCED STACKED BLOCK WALL SHALL COMPLY WITH 2 INCH MINUS SHOT ROCK WITH THE GRADATION MEETING SUBBASE GRADING A, AS DEFINED IN CBI STANDARD SPECIFICATION FOR CIVIL ENGINEERING AND SUBDIVISION IMPROVEMENTS, SECTION 2202, PARAGRAPHS 2.8 AND 2.4, RESPECTIVELY. PLACE SHOT ROCK BACKFILL PER SECTION 3.2 OF CBI STANDARD SPECIFICATION 02202.  
 BACKFILL BEHIND UN-REINFORCED STACKED CONCRETE BLOCK WALLS SHALL BE WELL GRADED SANDY GRAVEL WITH NO MORE THAN 6 PERCENT PASSING THE NO 200 SIEVE. SUBMIT GRADATION OF MATERIAL PROPOSED TO BE USED FOR REVIEW AND APPROVAL.

PLACE BACKFILL FOR CONCRETE BLOCK WALLS IN LOOSE LIFTS NO GREATER THAN 12 INCHES IN LOOSE THICKNESS. COMPACT WITH A MINIMAL LEVEL OF EFFORT OF 6 PASSES WITH A VIBRATORY PLATE OR VIBRATORY DOUBLE DRUM ROLLER WITH THE MINIMUM FORCE LEVEL RATING OF 10,000 POUNDS. SUBMIT TECHNICAL DATA ON COMPACTION EQUIPMENT FOR REVIEW AND APPROVAL PRIOR TO MOBILIZING COMPACTION EQUIPMENT TO THE SITE.

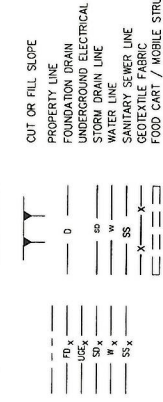
# ABBREVIATIONS

AASHTO AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS  
 ACI AMERICAN CONCRETE INSTITUTE  
 AISC AMERICAN INSTITUTE OF STEEL CONSTRUCTION  
 AITC AMERICAN INSTITUTE OF TIMBER CONSTRUCTION  
 ANSI AMERICAN NATIONAL STANDARDS INSTITUTE  
 ASTM AMERICAN SOCIETY FOR TESTING AND MATERIALS  
 AWWA AMERICAN WATER WORKS ASSOCIATION  
 AWS AMERICAN WELDING SOCIETY  
 AWWA AMERICAN WATER WORKS ASSOCIATION  
 CPP CORRUGATED POLYETHYLENE PIPE

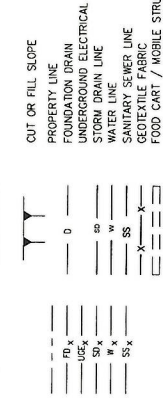
(E) EXISTING  
 (X) EXISTING  
 EXIST EXISTING  
 EXIST EXISTING  
 HPBE HIGH DENSITY POLYETHYLENE  
 IBC INTERNATIONAL BUILDING CODE  
 INTL INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS  
 KPSF 1000 POUNDS  
 LB POUND  
 MAX MAXIMUM  
 MIN MINIMUM  
 NO ON CENTER  
 OC ON CENTER  
 PCF POUNDS PER CUBIC FOOT  
 PL PLATE  
 PSF POUNDS PER SQUARE FOOT  
 PSI POUNDS PER SQUARE INCH  
 PVC POLY VINYL CHLORIDE  
 SS STAINLESS STEEL  
 STD STANDARD  
 TYP TYPICAL

# LEGEND

## EXISTING



## THIS PROJECT



REV	DATE	DESCRIPTION	DWN	CHK	APP.
1	1/09/24	REV 1			



10500 Chukchi Highway Ste. 100  
 Juneau, Alaska 99801  
 Phone: 907.586.2093  
 Fax: 907.586.2099  
 www.pafengineers.com

**P | N | D**  
**ENGINEERS, INC.**

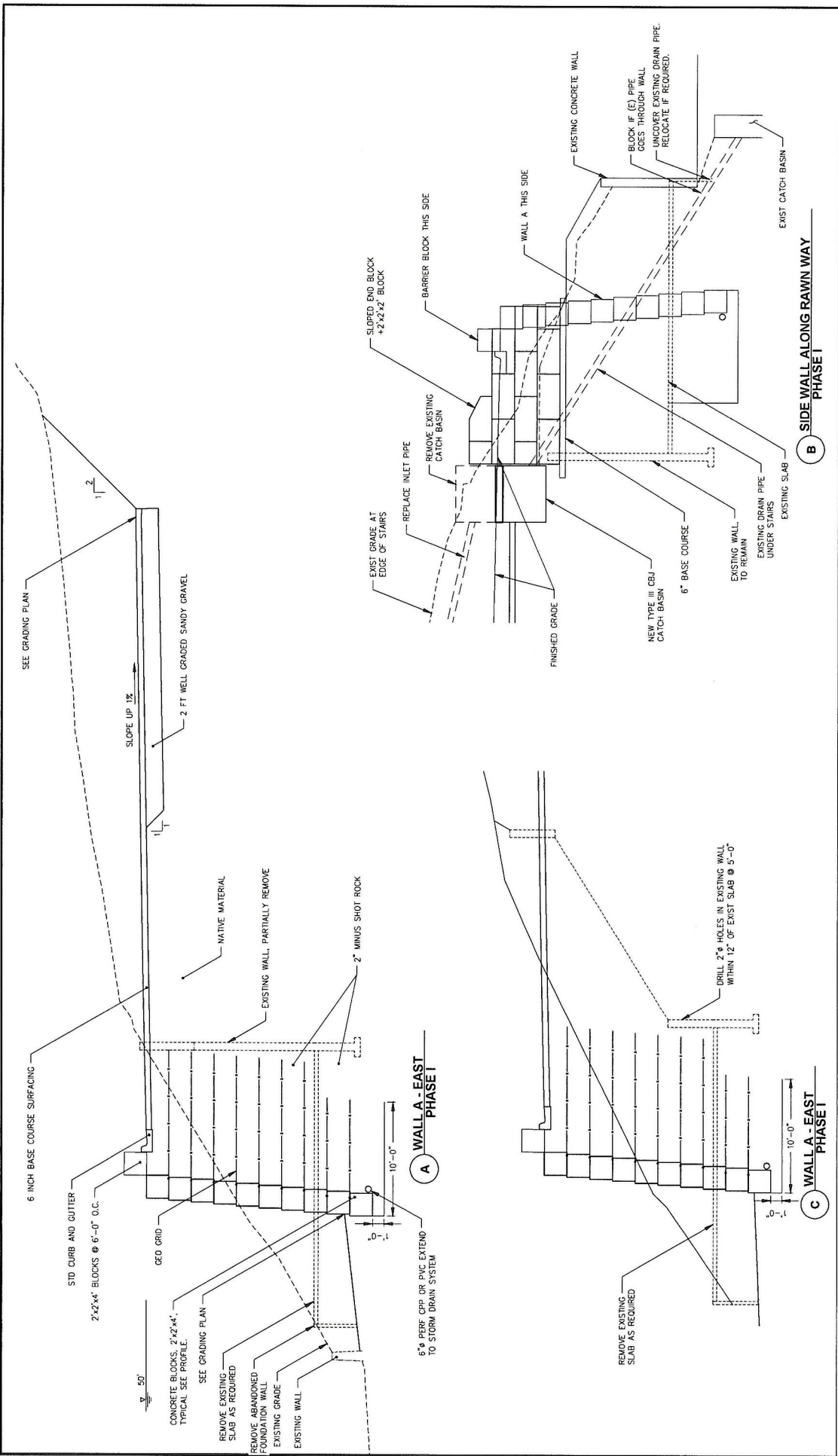
DESIGN: CMG  
 CHECKED: CMG  
 APPROVED: CMG

DATE: 12/17/2023

**JUNEAU, ALASKA**  
**FRANKLIN FOODS LLC IMPROVEMENTS**

SHEET TITLE  
**STRUCTURAL GENERAL NOTES**

NO. PROJECT NO.: 222070 | PLAN NO.: REC0250  
**S001**



**JUNEAU, ALASKA**  
**FRANKLIN FOODS LLC IMPROVEMENTS**

**WALL A PHASE I**

SHEET TITLE

PRO PROJECT NO. 222070 | C.A.N. NO. AEC0250

**S003**



3500 Glacier Highway Ste. 100  
 Juneau, Alaska 99901  
 Phone: 907-586-2093  
 Fax: 907-586-2099  
 www.pj-engineers.com

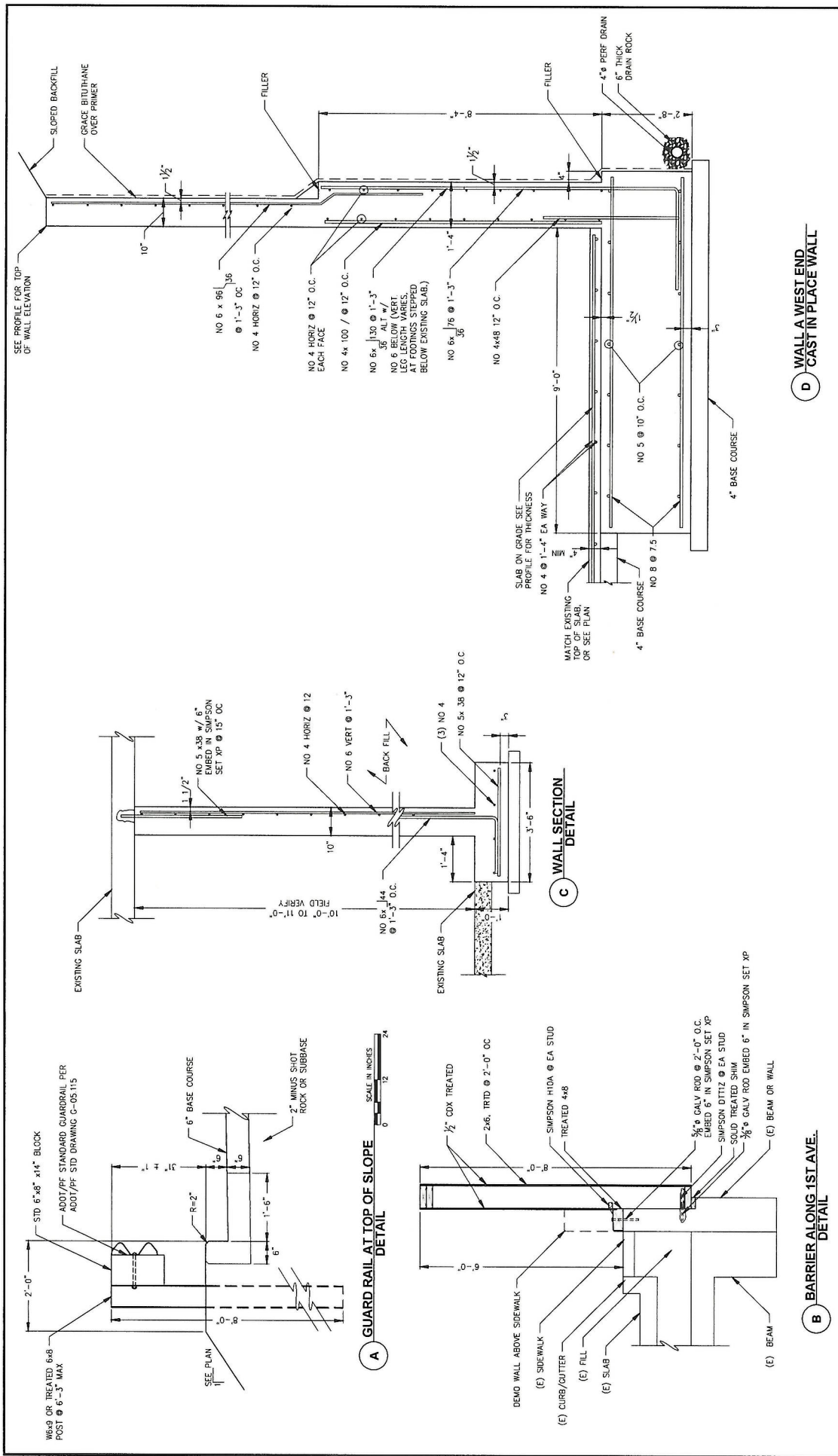
**P | N | D**  
**ENGINEERS, INC.**

DESIGN: CMC CHECKED: CMC SCALE: IN FEET  
 DRAWN: KLL APPROVED: CMC 0 4 8 FT.

REV.	DATE	DESCRIPTION	DWGN	CHKD.	APP.
1	1/08/24	REV 1			

**REVISIONS**





W6x9 OR TREATED 6x8 POST @ 6'-3" MAX

STD 6"x8" x14" BLOCK

ADD/PP STANDARD GUARDRAIL PER ADD/PP STD DRAWING C-05.115

2'-0"

SEE PLAN

R=2"

6" BASE COURSE

2" MINUS SNOT ROCK OR SUBBASE

1'-6"

6"

SCALE IN INCHES

0 12 24

**A** GUARD RAIL AT TOP OF SLOPE DETAIL

**B** BARRIER ALONG 1ST AVE. DETAIL

**C** WALL SECTION DETAIL

**D** WALL A WEST END CAST IN PLACE WALL

REVISIONS

REV.	DATE	DESCRIPTION	DWN.	CHK.	APP.
1	1/09/24	REV 1			

**P | N | D**  
ENGINEERS, INC.

9500 Chena Highway Ste. 100  
Juneau, Alaska 99801  
Phone: 907.586.2093  
Fax: 907.586.3099  
www.pndengineers.com

SCALE: 1" = 1'-0"

SCALE IN FEET

0 1 2 3

DESIGN: CMG  
CHECKED: CMG  
APPROVED: CMG

DRAWN: KLL

STATE OF ALASKA  
REGISTERED PROFESSIONAL ENGINEER  
NO. 14208  
DATE: 12/17/2023

JUNEAU, ALASKA  
FRANKLIN FOODS LLC IMPROVEMENTS

SHEET TITLE: TYPICAL DETAILS

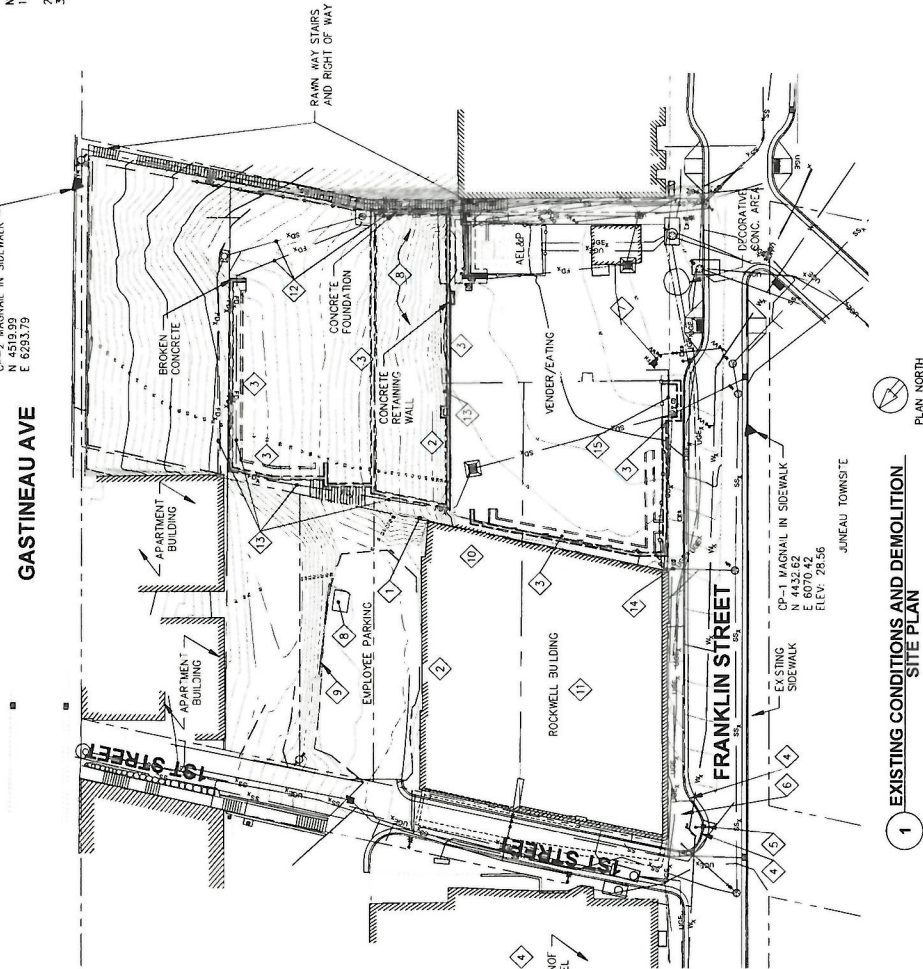
PROJECT NO.: 222070

SHEET NO.: S002

C.A.N. NO.: AEC0290

**DEMOLITION NOTES:**

- 1 REMOVE SHEET PILE WALL
- 2 REMOVE EXISTING RETAINING WALL
- 3 REMOVE REMAINING FOUNDATION WALLS, AS REQUIRED
- 4 REMOVE CURB AND GUTTER (PHASE II)
- 5 REMOVE LIGHT POLE SALVAGE FOR REINSTALLATION (PHASE II)
- 6 REMOVE SIDEWALK (PHASE II)
- 7 REMOVE HYDRANT AND CAP WATERLINE AT PROPERTY LINE
- 8 REMOVE SLAB, AS REQUIRED
- 9 REMOVE CONCRETE BARRIERS (PHASE II)
- 10 DEMO SLAB FOR NEW RAMP
- 11 DEMOLISH BUILDING
- 12 REMOVE EXPOSE EXISTING DRAIN PIPE, RE-ALIGN AS REQUIRED
- 13 EXISTING ABANDONED FOUNDATION REMOVED AS REQUIRED
- 14 RELOCATE SS CLEANOUT
- 15 REMOVE INFORMATIONAL SIGN



1 EXISTING CONDITIONS AND DEMOLITION SITE PLAN  
PLAN NORTH

- NOTES:**
1. BURIED UTILITIES SHOWN ARE FROM AVAILABLE AS-BUILT INFORMATION. VERIFY LOCATIONS PRIOR TO EXCAVATION.
  2. BURIED UTILITIES SHOWN ARE FROM GASTINEAU APARTMENT BUILDING DEMOLITION PLANS. CONDITIONS MAY VARY FROM AS SHOWN.
  3. BURIED FOUNDATIONS FROM GASTINEAU APARTMENT BUILDING DEMOLITION PLANS. CONDITIONS MAY VARY FROM AS SHOWN.

REV.	DATE	DESCRIPTION	DWN.	CHK.	APP.
1	1/09/24	REV 1			

**P | N | D**  
**ENGINEERS, INC.**

9900 Chena Highway Ste 100  
Juneau, Alaska 99901  
Phone: 907.586.2093  
Fax: 907.586.2095  
www.pndengineers.com

SCALE: SCALE IN FEET  
0 20 40 FT

DESIGN: CMG  
CHECKED: CMG  
APPROVED: CMG

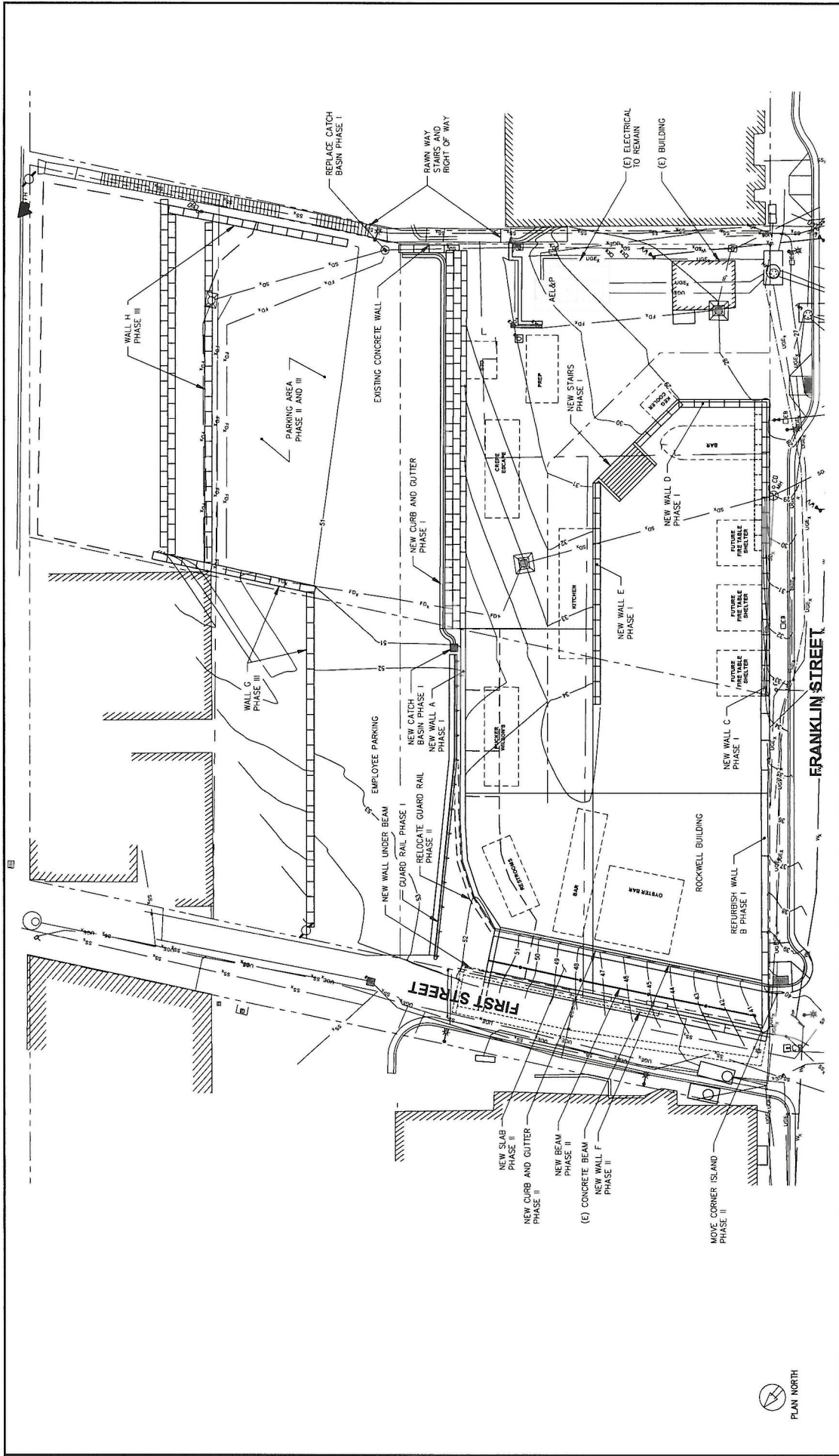


**JUNEAU, ALASKA**  
**FRANKLIN FOODS LLC IMPROVEMENTS**

SHEET TITLE  
**EXISTING CONDITIONS AND DEMOLITION SITE PLAN**

PROJ. PRODUCT NO. 222070 | SCALE NO. ACC0250

**\$100**



**JUNEAU, ALASKA**  
**FRANKLIN FOODS LLC IMPROVEMENTS**

SHEET TITLE: **OVERALL SITE PLAN**  
 SHEET NO.: **S101**

PROJ. NO.: 222070  
 C.A.M. NO.: AEC2250



9340 Glacier Highway Ste. 100  
 Juneau, Alaska 99801  
 Phone: 907 586 2093  
 Fax: 907 586 2099  
 www.pindigeneers.com

**P I N D I G E N E E R S, I N C.**

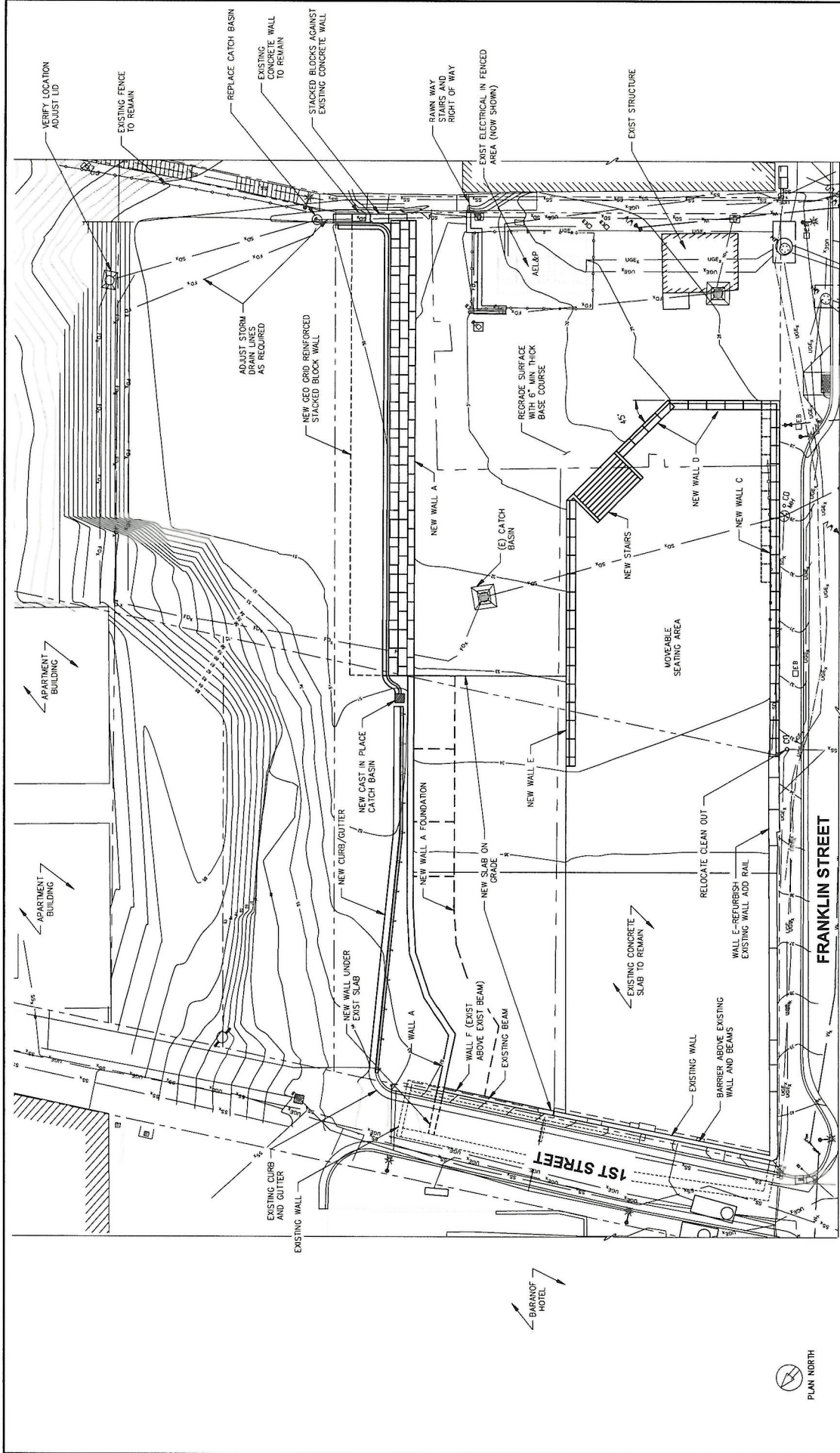
DESIGN: CMG  
 CHECKED: CMG  
 APPROVED: CMG

SCALE IN FEET: 0 12 24

REV.	DATE	DESCRIPTION	DWN.	CHK.	APP.
1	1/05/24	REV 1			

**REVISIONS**





**REVISIONS**

REV	DATE	DESCRIPTION	DWN	CHKD	APP
1	1/05/24	REV 1			

**FRANKLIN FOODS LLC IMPROVEMENTS**

**SITE PLAN PHASE I**

SHEET TITLE

PROJECT NO. 222070

DATE 12/17/2023

SCALE IN FEET: 0 10 20 FT

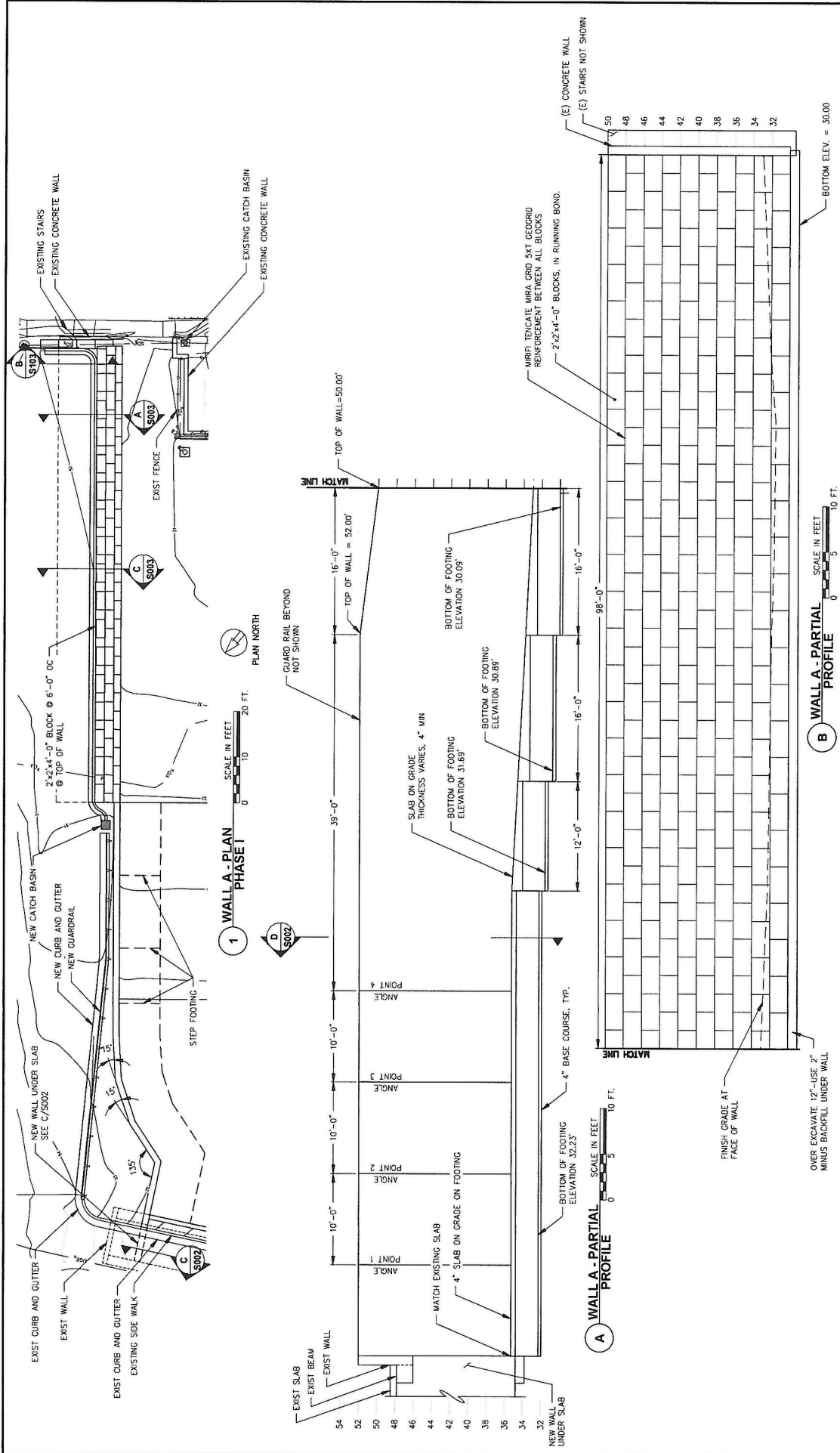
PERSON: DMC (DRAWN), KLL (CHECKED), DMC (APPROVED)

ENGINEERS, INC.

1950 Glacier Highway, Ste. 100  
Juneau, Alaska 99901  
Phone: 907.586.2093  
Fax: 907.586.2099  
www.proengineers.com

STATE OF ALASKA  
Professional Engineer  
No. 14209

PLAN NORTH



**1 WALL A - PLAN PHASE I**

SCALE IN FEET: 0 10 20 FT.

PLAN NORTH

**A WALL A - PARTIAL PROFILE**

SCALE IN FEET: 0 5 10 FT.

**B WALL A - PARTIAL PROFILE**

SCALE IN FEET: 0 5 10 FT.

OVER EXCAVATE 12" - USE 2" MINUS BACKFILL UNDER WALL

REVISIONS

REV	DATE	DESCRIPTION	DWN	CHK	APP
1	1/05/24	REV 1			

**PN D ENGINEERS, INC.**

9340 Chertoff Highway, Ste. 100  
 Healy, Alaska 99801  
 Phone: 907-586-2093  
 Fax: 907-586-2099  
 www.pndengineers.com

PERSON: CMG CHECKED: CMG SCALE: AS SHOWN  
 DRAWN: KLL APPROVED: CMG

**JUNEAU, ALASKA**  
**FRANKLIN FOODS LLC IMPROVEMENTS**

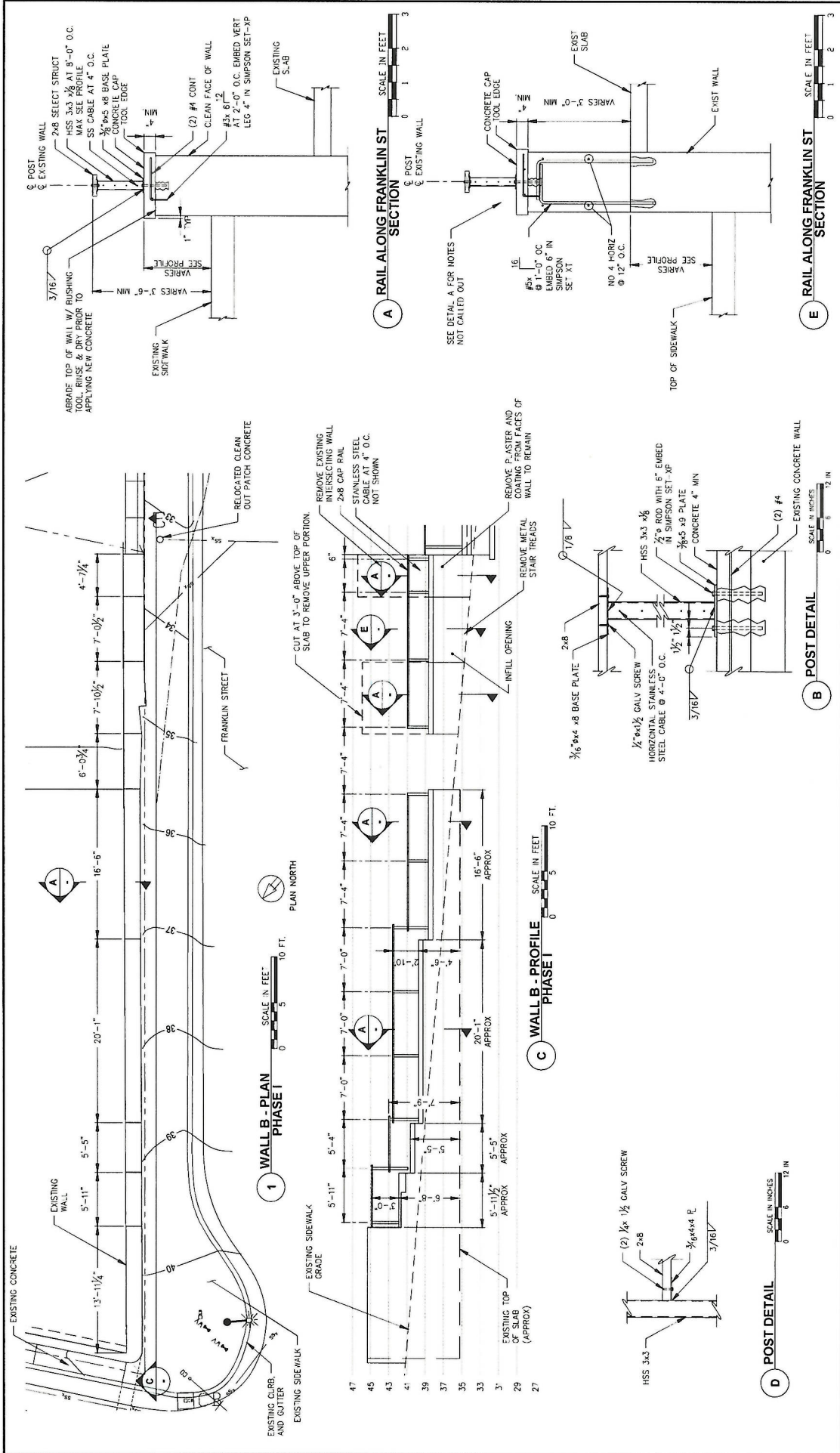
SHEET TITLE: **WALL A PHASE I**

PROJECT NO. 222070 CAN. NO. AEC230

DATE: 12/15/2023

S103





**REV** | **DATE** | **DESCRIPTION** | **DWN.** | **CHK.** | **APP.**

1	1/08/24	REV 1			

**REVISIONS**

**ENGINEERS, INC.**

19500 Glenn Highway Ste 100  
 Juneau, Alaska 99901  
 Phone: 907.586.2093  
 Fax: 907.586.3099  
 www.engineersinc.com

**AS SHOWN**

DATE: 12/18/2023

**FRANKLIN FOODS LLC IMPROVEMENTS**

**WALL B PHASE I**

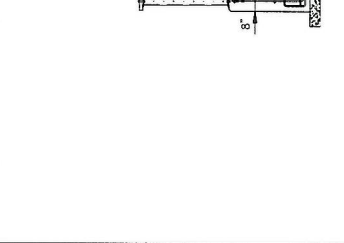
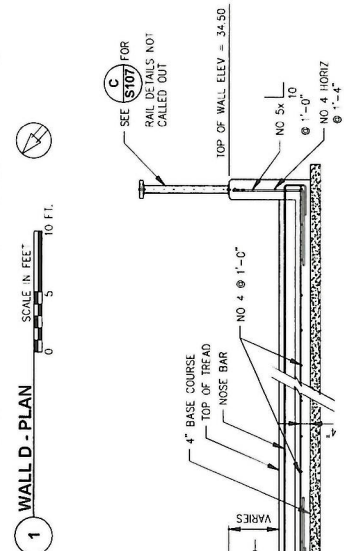
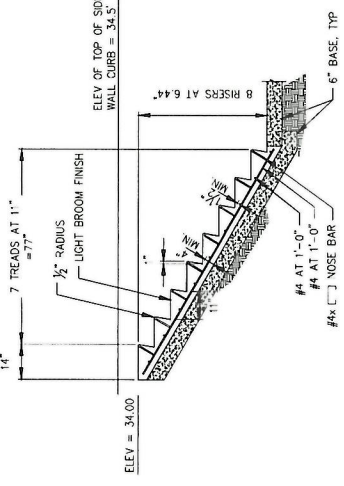
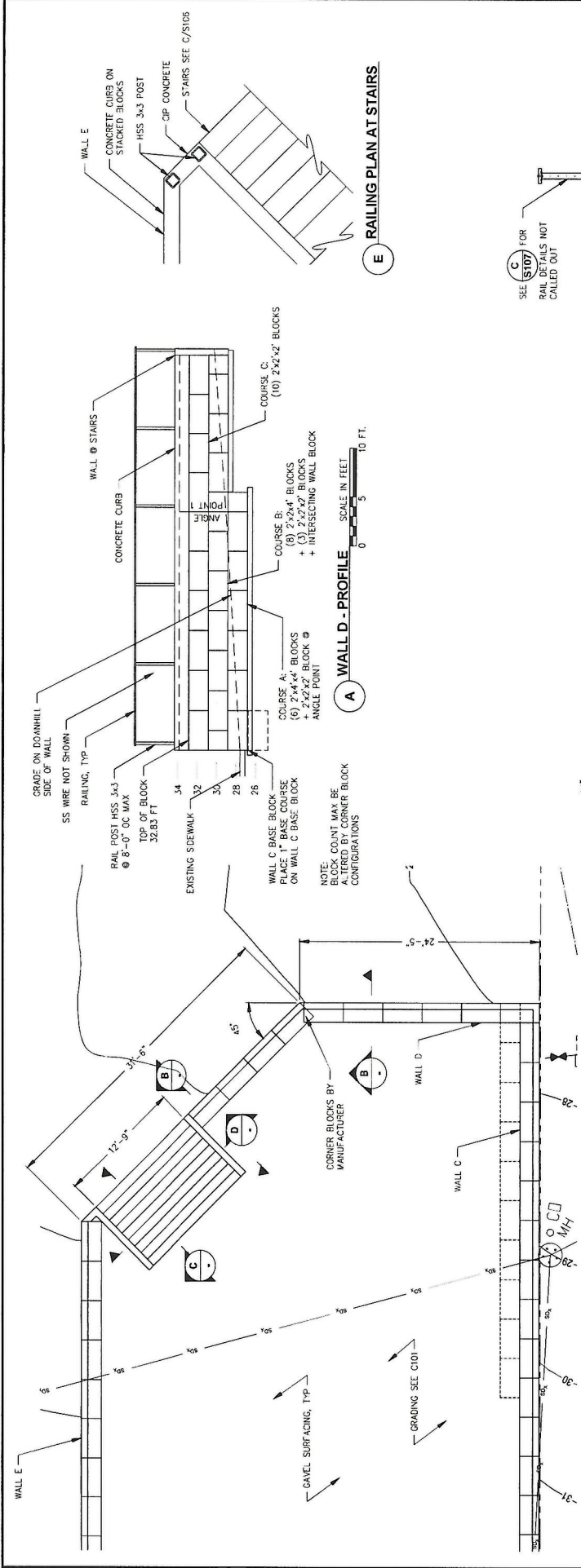
SHEET TITLE

**S104**

PROJ. NO. 222070 | C.A.N. NO. AEGC250







REV.	DATE	DESCRIPTION	DWN.	CHKD.	APP.
A	1/09/24	REV 1			

STATE OF ALASKA  
DEPARTMENT OF COMMUNITY AND DEVELOPMENT  
DIVISION OF PUBLIC WORKS  
DATE: 12/19/2023

**JUNEAU, ALASKA**  
**FRANKLIN FOODS LLC IMPROVEMENTS**

**WALL D**  
**PHASE I**

SHEET TITLE  
S106

PROJ. PROJECT NO. 222070  
PLAN NO. AEC0250

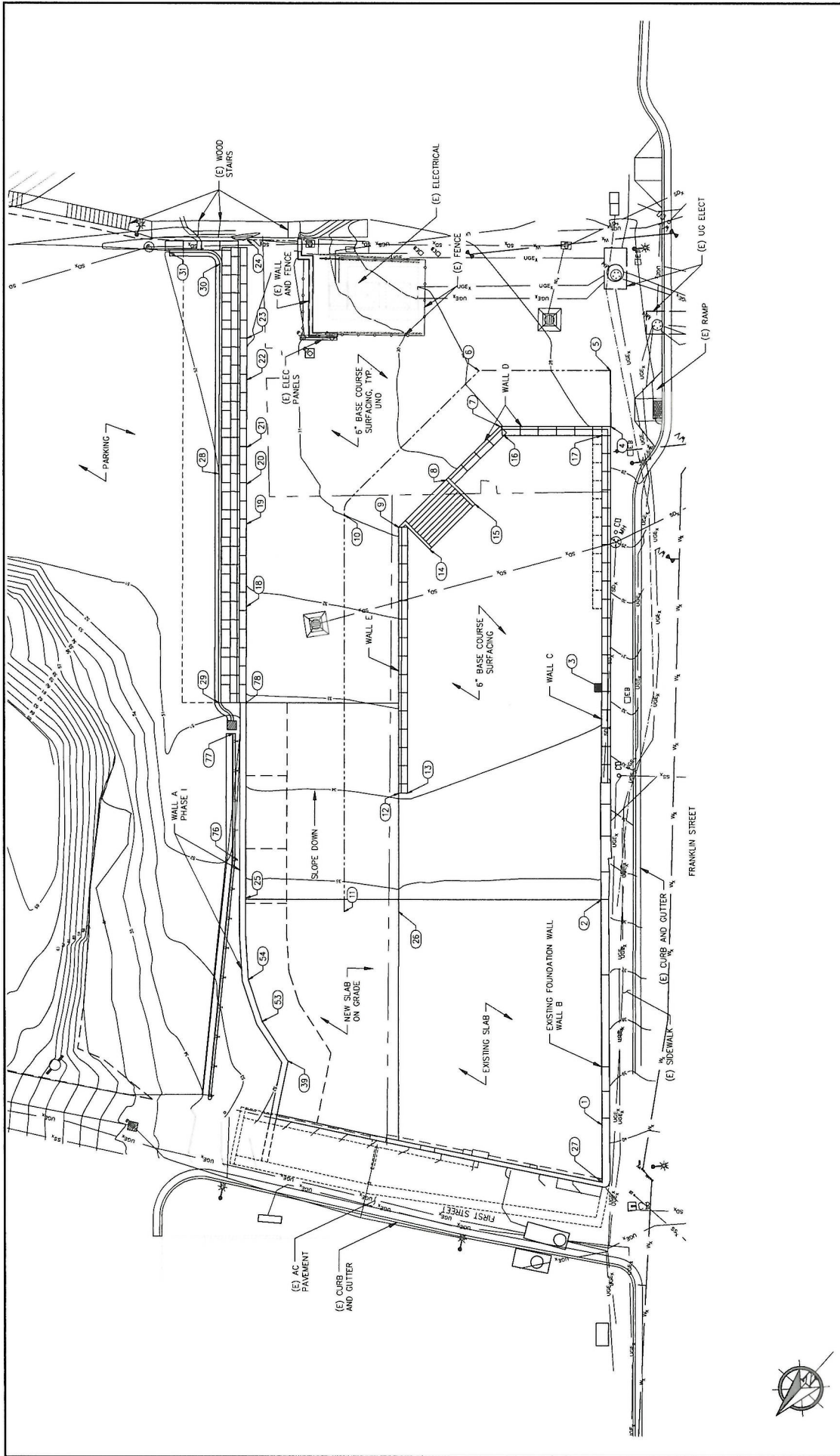
3560 Glacier Highway Ste 100  
Juneau, Alaska 99901  
Phone: 907-586-2093  
Fax: 907-586-2099  
www.pindesigners.com

**PIND ENGINEERS, INC.**

SCALE  
CHECKED: CMG  
APPROVED: CMG  
DRAWN: KLL







JUNEAU, ALASKA  
 FRANKLIN FOODS LLC IMPROVEMENTS  
 SHEET TITLE  
 SITE AND PHASE I  
 GRADING PLAN  
 PND PROJECT NO. 222070 | C.A.N. NO. - AEC250



3500 Glenn Highway Ste. 100  
 Juneau, Alaska 99801  
 Phone: 907.586.2093  
 Fax: 907.586.2099  
 www.pnengineers.com

**P | N | D**  
 ENGINEERS, INC.

DESIGN: CMC  
 CHECKED: CMC  
 APPROVED: CMC  
 DRAWN: KLL

SCALE IN FEET  
 0 10 20 FT

REV.	DATE	DESCRIPTION	DWN.	CHK.	APP.
1	1/08/24	REV 1			

REV. DATE DESCRIPTION DWN. CHK. APP.

POINT TABLE					POINT TABLE				
POINT NO	NORTHING	EASTING	ELEV	DESCRIPTION	POINT NO	NORTHING	EASTING	ELEV	DESCRIPTION
1	4543.1766	6013.3769	35.23	GRADE AT WALL	21	4483.4303	6169.9917	31.45	GRADE AT WALL
2	4506.2200	6045.9873	35.23	ME. SLAB EDGE	22	4472.1462	6179.8565	31.50	GRADE AT WALL
3	4471.2269	6076.6659	33.91	CB	23	4465.2063	6185.9234	32.13	GRADE AT WALL
4	4426.9281	6112.7934	27.58	GRADE AT WALL	24	4448.9214	6200.1599	33.00	GRADE AT WALL
5	4417.6864	6121.0084	27.34	MATCH EXISTING	25	4557.7025	6105.0618	35.23	GRADE AT WALL
6	4436.8007	6142.7785	28.79	CB	26	4537.5903	6077.7851	35.23	CB
7	4443.0569	6131.1599	28.03	GRADE AT WALL	27	4552.5955	6005.0643	41.46	GRADE AT WALL
8	4459.7516	6132.2443	30.27	GRADE AT WALL	28	4491.7925	6170.6991	50.00	CB
9	4474.4714	6133.2003	30.89	GRADE AT WALL	29	4529.4088	6137.8144	49.98	CB
10	4480.3931	6144.0578	30.99	CB	30	4458.8517	6201.2512	49.98	CB
11	4545.5068	6086.7997	35.23	CB	31	4462.1955	6211.1344	49.98	CB
12	4516.0558	6094.9329	33.94	GRADE AT WALL	39	4576.3557	6074.6888	35.23	GRADE AT WALL
13	4516.7323	6093.4267	34.00	GRADE AT WALL	53	4575.6302	6084.5373	35.23	GRADE AT WALL
14	4473.5995	6124.8053	34.00	TOP OF STAIRS	54	4570.7613	6092.8636	35.23	GRADE AT WALL
15	4459.5608	6123.9226	34.00	TOP OF STAIRS	76	4552.5777	6112.0217	52.00	GRADE AT GUARD RAIL
16	4444.0133	6120.2175	34.00	GRADE AT WALL	77	4532.3757	6130.9558	51.92	GRADE AT GUARD RAIL
17	4429.8024	6113.0321	34.00	GRADE AT WALL	78	4525.4353	6133.2703	33.09	GRADE AT WALL
18	4508.7198	6147.0090	32.20	GRADE AT WALL					
19	4486.1327	6158.8870	31.43	GRADE AT WALL					
20	4489.5321	6164.6574	31.45	GRADE AT WALL					

**REV** | **DATE** | **DESCRIPTION** | **DWN** | **CHKD.** | **APP.**

1	1/08/24	REV 1			

**REVIEWS**

**ENGINEERS, INC.**

9360 Chevre Highway Ste. 100  
Juneau, Alaska 99801  
Phone: 907-586-2793  
Fax: 907-586-2899  
www.mhengineering.com

**DATE:** 12/19/2023

**SHEET TITLE:** LAYOUT TABLE

**C202**

**PERSON:** CMC **CHECKER:** CMC **SCALE:**

**DRAWN:** KLL **APPROVED:** CMC

**FRANKLIN FOODS LLC IMPROVEMENTS**

**JUNEAU, ALASKA**

