

The NC, or Neighborhood Commercial, zoning district is a new district (February 7, 2022) intended to encourage the development of lively, mixed-use neighborhoods that are compact and walkable. Greater emphasis is placed upon medium density residential as the primary use with neighborhood-scale commercial activity that is less intensive than that permitted in the light commercial, general commercial and mixed use zoning districts. Neighborhood Commercial zoning districts are primarily used as a buffer between commercial and mixed use zoning districts and single-family and lower density multi-family residential zoning districts. *[CBI 49.25.230(c)]*

The following pages include the ordinance establishing this zoning district, which was approved by the City and Borough of Juneau Assembly on February 7, 2022.

Presented by: The Manager
Presented: 08/23/2021
Drafted by: R. Palmer III

ORDINANCE OF THE CITY AND BOROUGH OF JUNEAU, ALASKA

Serial No. 2021-35

An Ordinance Amending the Land Use Code to Create a Mixed Use 3 (MU3) Zoning District, a Neighborhood Commercial (NC) Zoning District.

BE IT ENACTED BY THE ASSEMBLY OF THE CITY AND BOROUGH OF JUNEAU, ALASKA:

Section 1. Classification. This ordinance is of a general and permanent nature and shall become a part of the City and Borough of Juneau Municipal Code.

Section 2. Amendment of Chapter. Chapter 49.25 Zoning Districts, is amended to read:

Chapter 49.25 – ZONING DISTRICTS

...

49.25.220 Mixed use districts.

...

(c) The MU3, mixed use 3 district, is intended to place a greater emphasis on the integration of small-scale commercial uses within high-density residential structures. Flexible setback regulations are deliberate to promote cohesive neighborhoods and encourage the development of pedestrian-oriented buildings.

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2 **49.25.230 Commercial districts.**

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4 (c) The NC, neighborhood commercial district, is intended to encourage the development of
5 lively, mixed-use neighborhoods that are compact and walkable. Greater emphasis is placed
6 upon medium density residential as the primary use with neighborhood-scale commercial
7 activity that is less intensive than that permitted in the light commercial, general commercial
8 and mixed use zoning districts. Neighborhood Commercial zoning districts are primarily used
9 as a buffer between commercial and mixed use zoning districts and single-family and lower
10 density multi-family residential zoning districts.

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14 **Section 3. Amendment of Table.** CBJ 49.25.300 Table of Permissible Uses, is
15 amended as shown in the attached Exhibit A.

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17 **Section 4. Amendment of Table.** CBJ 49.25.400 Table of Dimensional Standards,
18 is amended as shown the attached Exhibit B.

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20 **Section 5. Amendment of Section.** CBJ 49.25.430 Yard setbacks, is amended to
21 read:

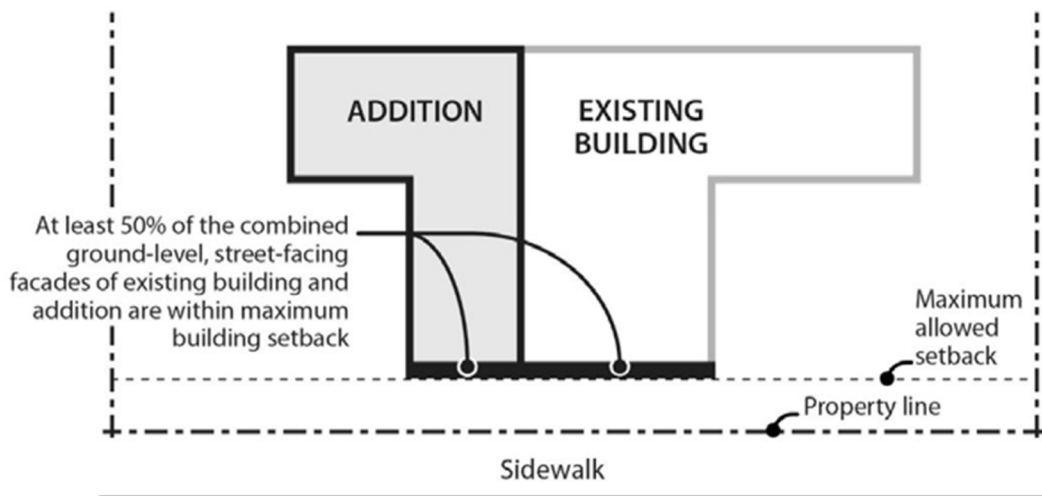
22
23 **49.25.430 Yard setbacks.**

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2 (6) Maintaining building façade continuity. A new building in the NC or MU3 zoning districts
3 shall have a front yard setback and street side yard setback equal to the average front yard
4 setback of the three closest conforming buildings sharing a frontage and within a 150' radius.
5

6 (7) Maximum building setback for NC and MU3. At least 50 percent of the length of the
7 ground level, street-facing façade of a new or altered building shall be within the maximum
8 setback for the underlying zoning district. Where there is more than one building on a lot, the
9 maximum standard applies to the combined ground level, street-facing facades of all the
10 buildings.
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13 **Alteration to Existing Building in Conformance with Maximum Setback Standard**



(8) NC and MU3 parcels abutting residential zoning districts. When a building 15 feet or taller in the NC or MU3 zoning district abuts a residential zoning district the following setbacks and landscaping requirements apply:

<u>Height of building wall</u>	<u>Lots abutting a residential zone side lot line</u>	<u>Lots abutting a residential zone rear lot line</u>
<u>15 ft. or less</u>	<u>5 foot setback and landscaping</u>	<u>Underlying zoning district setback, no landscaping</u>
<u>16 – 30 ft.</u>	<u>8 foot setback and landscaping</u>	
<u>31-55 ft.</u>	<u>10 foot setback and landscaping</u>	

Section 6. Amendment of Table. CBJ 49.25.500 Density, is amended to read:
49.25.500 Density.

The maximum number of dwelling units allowed per acre shall be as provided in the following table:

Zoning District	Maximum Dwelling Units/Acre
RR	Density determined by minimum lot size in section 49.25.400 and special density requirements in section 49.25.510.
D-1	Density determined by minimum lot size in section 49.25.400 and special density requirements in section 49.25.510.
D-3	Density determined by minimum lot size in section 49.25.400 and special density requirements in section 49.25.510.
D-5	Density determined by minimum lot size in section 49.25.400 and special density requirements in section 49.25.510.

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D-10	10 units per acre
D-10 SF	Density determined by minimum lot size in section 49.25.400 and special density requirements in section 49.25.510.
D-15	15 units per acre
D-18	18 units per acre
MU	No maximum density
MU2	80 units per acre
<u>MU3</u>	<u>30 units per acre</u>
<u>NC</u>	<u>15 units per acre</u>
LC	30 units per acre
GC	50 units per acre
WC	18 units per acre

...

Section 7. Amendment of Chapter. Chapter 49.50 Parks, Open Space and Vegetative Cover, is amended to read:

Chapter 49.50 – PARKS, OPEN SPACE AND VEGETATIVE COVER

...

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2 **49.50.300 Minimum vegetative cover.**

3 A minimum percent by area of each development site shall be maintained with live
4 vegetative cover according to the following table. In the event of a conflict between district and
5 area standards, the greater shall apply.
6

Zoning District	Percentage of Lot in Vegetation
D-1, D-3, and D-5, residential districts	20
D-10 SF residential districts	15
D-10, D-15, and D-18 multifamily residential districts	30
MU2, mixed use district	5
<u>MU3, mixed use district</u>	<u>10</u>
<u>NC, neighborhood commercial district</u>	<u>25</u>
LC, light commercial district	15
GC, general commercial district	10
WC, waterfront commercial district	10
WI, waterfront industrial district	5
I, industrial district	5
Convenience store, outside a commercial district	20

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Section 8. Effective Date. This ordinance shall be effective 30 days after its adoption.

Adopted this _____ day of _____, 2021.

Beth A. Weldon, Mayor

Attest:

Elizabeth J. McEwen, Municipal Clerk