

CONSTRUCTION DOCUMENTS  
JENSEN-OLSON ARBORETUM  
SUNROOM RENOVATION

**A.E. Rogers**  
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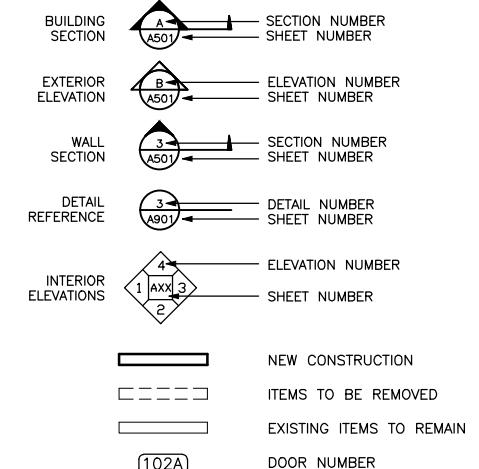
ARCHITECTURAL A.E. ROGERS ARCHITECTS, LLC PO Box 34401 Juneau, Alaska 99801 907-789-7589 Cell 907-723-4000 Email arogers@aerogers.com	MECHANICAL PDC ENGINEERS 907 Capitol Ave. Juneau, Alaska 99801 907-780-6151 Cell 907-321-2019 Email dougmurray@pdceng.com	ELECTRICAL GORMAN ENGINEERS 10761 Horizon Drive Juneau, Alaska 99801 907-463-6721 Cell 907-723-8884 Email pgorman@gci.net	OWNER CITY & BOROUGH OF JUNEAU 155 South Seward St. Juneau, Alaska 99801 907-586-0893 Email Lisa.eaganlagerquist@juneau.org	
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#### ABBREVIATIONS

NOTE: THIS IS A GENERIC LIST. NOT ALL ABBREVIATIONS ARE USED IN DRAWINGS

AB	ANCHOR BOLTS	(E)	EXISTING	MTD	MOUNTED	REQ'D	REQUIRED	SECTION NUMBER
ACM	ACROSTIC	(E)	EXISTING	MTL	MULLION	RESIL	REINFORCED	FIBERGLASS PANEL
ACT	ASBESTOS CONTAINING MATERIAL	EXT	EXTERIOR	MUL	MULLION	RTP	REGISTER	
A.D.	ACOUSTICAL CEILING TILE	FA	FIRE ALARM	N	NORTH	RGTR	ROOM	
AFF	ABOVE DATUM	FD	FIRE DRAIN	NIC	NOT IN CONTRACT	RM	ROUGH OPENING	
AL	ABOVE FINISH FLOOR	FE	FIRE EXTINGUISHER	NO OR #	NUMBER	RO	SCHED	
ARCH	ARCHITECTURAL	FHC	FIRE HOSE CABINET	NOM	NOMINAL	SD	SCHOT	
ASB	ASBESTOS	FI	FLOOR	NTS	NOT TO SCALE	SHTG	SHEATHING	
ASPH	ASPHALT	FIN	FINISH	OBS	OBSCURE	SIM	SIMILAR	
AVB	AIR & VAPOR BARRIER	FOC	FACE OF CONCRETE	OC	ON CENTER	SPEC	SPECIFICATIONS	
BD	BD	FOF	FACE OF FINISH	OD	ODIMETER	STD	STANDARD	
BITUM	BITUMINOUS	FOS	FACE OF STUDS	OFCL	OWNER FURNISH	STD	STEEL	
BLDG	BUILDING	FT	FOOT OR FEET	CONTRACTOR INSTALL	STRUCT	STRUCTURE		
BOD	BOTTOM OF DECK	FURR	FURRING	OFF	OFFICE	SS	STAINLESS STEEL	
CG	CATCH BASIN	FUT	FUTURE	OFFI	OWNER FURNISH	TB	TO BURN	
CG	COPPER GUARD	GA	GAUGE	OFFICE	OFFICE INSTALL	TOP	TOP OF CURB	
CL	CAST IRON	GALV	GALVANIZED	OPNG	OPENING	TO	TOP	
CLG	CEILING	GB	GRAB BAR	OPP	OPPOSITE	TEL	TELEPHONE	
CLR	CLEAR	GL	GLASS	OSB	ORIENTED STAND BOARD	TER	TERRAZZO	
COL	COLUMN	GR	GRADE	PIC	PLASTIC IMPREGNATED CORK	TJI	TRUSS JOIST	
CONC	CONCRETE	GYP	GYPSUM	PL	PLASTIC LAMINATE	TOD	TOP OF DECK	
CORR	CORRIDOR	GWB	GYPSUM WALL BOARD	PLY	PLYWOOD	TOP	TOILET PAPER DISPENSER	
CRPT	CARPET	HB	HOSE BIBB	PLYWD	PLYWOOD	TS	TUBE STEEL	
DEPT	DEPARTMENT	HC	ACCESSIBLE TO DISABLED	PR	PAIR	TV	TELEVISION	
DET	DRINKING FOUNTAIN	HDW	HARDWOOD	PRCST	PRE-CAST	TYP	TYPICAL	
DIA	DIA	HT	HOLLOW	PT	PRE-TREATED	UL	UNIVERSITY LABORATORY	
DIM	DIMETER	HM	HOLLOW METAL	PTD	PAINTED	UL	UNLESS OTHERWISE NOTED	
DN	DIMENSION	INSUL	INSULATION	PTN	PARTITION	UN	UNIVERSITY	
DS	DOWNSPOUT	JAN	JANITOR	PVC	POLY VINYL CHLORIDE	VB	VAPOR BARRIER	
DWG	DRAWING	LAV	LAVATORY	QT	QUARRY TILE	VEST	VESTIBULE	
EA	EACH	LIT	LIGHT	R	ROOF	VTR	VENT THROUGH ROOF	
EL	ELEVATION	MAX	MAXIMUM	RAD	ROOF DRAIN	WC	WATER CLOSET	
ELEC	ELECTRICAL	M/E	MECHANICAL AND ELECTRICAL	REF	REFERENCE	WD	WOOD	
ELEV	ELEVATOR	MECH	MECHANICAL	REFR	REFRIGERATOR	WP	WATERPROOF	
EP	ELECTRICAL PANELBOARD	MIN	MISCELLANEOUS	REFR	REFRIGERATOR	WR	WATER RESISTANT	
EQ	EQUALIZER	MISC	MISCELLANEOUS	REFR	REFRIGERATOR	WSCT	WAISNCOT	
EQUIP	EQUIPMENT	REINF	REINFORCED	REINF	REINFORCED	WT	WEIGHT	
			(X)				REMOVE	

#### DRAWING LEGEND



#### VICINITY MAP



#### GENERAL NOTES

- ALL CONSTRUCTION TO BE PER 2009 IBC AND ALL APPLICABLE MECHANICAL, ELECTRICAL, FIRE CODES (AS AMENDED BY THE CITY AND BOROUGH OF JUNEAU) AND THE JUNEAU ZONING/LAND USE REQUIREMENTS. THE CONSTRUCTION WILL BE IN ACCORDANCE WITH THE ADAAG (AMERICANS WITH DISABILITIES ACT – ACCESSIBILITY GUIDELINES).
- ALL INTERIOR WALLS & FURRING ARE TO BE 2X WOOD FRAMING UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO FACE OF FRAMING MEMBER UNLESS OTHERWISE NOTED. ALL WOODEN FRAMING MEMBERS IN CONTACT WITH THE GROUND, ROCK OR MASONRY ARE TO BE PRESSURE TREATED.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK AND TO NOTIFY THE OWNER'S REPRESENTATIVE AS TO ANY DISCREPANCIES.
- REMOVE ALL ELECTRICAL OUTLETS, TELEPHONE JACKS, SWITCHES AND THERMOSTATS THAT ARE LOCATED IN INTERIOR WALLS TO BE REMOVED OR WALLS WHERE A CONFLICT WITH NEW WORK EXISTS. IF UTILITIES ARE NOT TO BE EXTENDED, CAP IN A SAFE MANNER IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS.
- WHERE REMOVAL OF EXISTING CONDITIONS HAS OCCURRED, PATCH AS REQUIRED TO MATCH EXISTING ADJACENT SURFACES AND FINISHES.
- DISPOSAL OF DEMOLITION MATERIAL (NOT TO BE SALVAGED) IS THE RESPONSIBILITY OF THE CONTRACTOR. BURNING OF MATERIALS AND DISPOSAL OF CONCRETE AND EXCAVATED MATERIAL WILL NOT BE ALLOWED ON THE PROJECT SITE.
- CONTRACTOR SHALL PROVIDE A MINIMUM OF 24 HOURS NOTICE PRIOR TO SHUTTING OFF ANY SYSTEM.
- THESE DRAWINGS ARE FOR USE ON THE JENSEN-OLSON ARBORETUM SUNROOM RENOVATION PROJECT ONLY. THEY ARE NOT TO BE REUSED IN WHOLE OR IN PART ON ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION FROM A.E. ROGERS ARCHITECTS, LLC.

#### BUILDING CODE SUMMARY

ALL CONSTRUCTION TO BE PER APPLICABLE ARCHITECTURAL, MECHANICAL, ELECTRICAL, FIRE CODES (AS AMENDED BY THE CITY AND BOROUGH OF JUNEAU) AND THE JUNEAU ZONING/LAND USE REQUIREMENTS. THE CONSTRUCTION WILL BE IN ACCORDANCE WITH THE ADAAG (AMERICANS WITH DISABILITIES ACT – ACCESSIBILITY GUIDELINES).

CODE INTERNATIONAL BUILDING CODE (IBC) 2009

OCCUPANCY (SEC. 302): R-3 (SINGLE FAMILY RESIDENCE)

CONSTRUCTION TYPE: V-B (WOOD, NON-RATED) (TABLE 601)

AUTOMATIC SPRINKLER SYSTEM: NOT REQUIRED FOR R-3 OCCUPANCY PER CBJ AMENDMENTS. BUILDING IS NOT SPRINKLERED.

#### DRAWING SCHEDULE

##### ARCHITECTURAL

A0 CODE INFORMATION SYMBOLS & ABBREVIATIONS  
A1 SPECIFICATIONS, CRAWL SPACE (DEMO), SUNROOM (DEMO)  
A2 CRAWL SPACE (NEW), SUNROOM (NEW), WALL SECTION  
A3 EXTERIOR ELEVATIONS  
A4 DEMOLITION WORK, EXIST. CONDITIONS PHOTOS  
A5 DEMOLITION WORK, EXIST. CONDITIONS PHOTOS

##### MECHANICAL

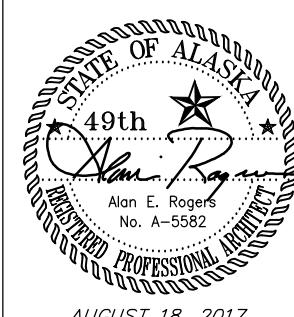
M1 SYMBOLS, SCHEDULES, & SPECIFICATIONS  
M2 FLOOR PLANS MECHANICAL

##### ELECTRICAL

E1 LEGEND, NOTES & SPECIFICATIONS, ELECTRICAL PLAN, SHEET NOTES

**CBJ CONTRACT NO. BE17-244  
ARCHITECT'S PROJECT NO. 1702**

#### CODE INFORMATION SYMBOLS & ABBREVIATIONS



**AO**

# SPECIFICATIONS

## CONTRACTOR NOTES

SELECT MANUFACTURERS LISTED OR SUBMIT EQUAL FOR APPROVAL BY OWNER'S REPRESENTATIVE. SUBMITTALS REQUIRED ON ALL PRODUCTS.

CONTRACTOR TO REVIEW ALL SUBMITTALS AND SHOP DRAWINGS FOR COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS BEFORE ORDERING MATERIALS.

## METAL FLASHING

TOP OF STONE, 24 GAUGE GALV., PRE-FINISHED W/KYNAR 500, COLOR AS SELECTED BY OWNER'S REPRESENTATIVE.

## STONE/CONCRETE CLEANING & SEALANT

WET SAND BLAST EXISTING EXPOSED STONE AND CONCRETE. SOME MINOR REPAIR OF MORTAR JOINTS REQUIRED. SEAL STONE AND CONCRETE WITH "FABRISHIELD 650", SILOXANE/QUARTZ WATER REPELLENT (604-253-3177). FOLLOW MANUFACTURER'S INSTRUCTIONS.

## SPRAY FOAM INSULATION:

RIGID POLYURETHANE, CLASS I ASTM, NOMINAL DENSITY 2LBS/CF, BLOWING AGENT HFC 245fa

1. HEATLOK SOY 200 (WWW.ALASKARENOVATORS.COM) (907-780-3627)

## BUILDING WRAP:

#15 ROOFING FELT, ASTM D 226/D 226M TYPE I, ASPHALT-SATURATED ORGANIC FELT, NONPERFORATED.

## GROUND VAPOR BARRIER: (CRAWL SPACE)

MEET STANDARD ASTM E-1745, 10 MIL

1. FLATIRON FILMS LLC. (WWW.FLATIRON-FILMS.COM)
2. GRIFFOLYN, DIVISION OF REEF INDUSTRIES (WWW.REEFINDUSTRIES.COM)
3. RAVEN INDUSTRIES. (WWW.RUCO.COM)
4. W.R. MEADOWS, INC. (WWW.WRMEDOWS.COM)

## REPLACEMENT WINDOWS:

1. "MILGARD, MONTECITO" (WWW.MILGARD.COM). VINYL, FIXED & AWNING, WHITE, NAIL FIN, LOW-E, ARGON FILLED.

## REPLACEMENT DOORS:

STORM DOOR: "ANDERSEN" 4000 SERIES, FULLVIEW, QUICK RELEASE GLASS/INSECT SCREEN CHANGE, 3-POINT LOCKING SYSTEM, TEMPERED GLASS, COLOR AND HARDWARE AS SELECTED BY OWNER'S REPRESENTATIVE.

EXTERIOR DOOR: "THERMA-TRU", FIBERGLASS, 3'-0" x 6'-8", "CLASSIC-CRAFT AMERICAN STYLE", 2-PANEL, 6-LITE SIMULATED DIVIDED (SDL), CLEAR GLASS, LOW-E. DOUGLAS FIR WOOD GRAIN, PAINTABLE DOOR SURFACE.

## GYPSUM WALLBOARD: (GWB)

5/8" TYPE "X" WATER RESISTANT (WR) TO BE USED ON ALL WALLS UNLESS OTHERWISE NOTED.

## SOUTH FACE OF EXISTING SUNROOM



## VINYL FLOOR FINISH:

"TAS FLOORING", VINYL PLANK, 7.5 MM THICK, 20 MIL WEAR LAYER, URETHANE FINISH, LOW GLOSS, STYLE "TANDEM", COLOR WINDSOR, 30 YR. WARRANTY, WOOD SUB-FLOOR MUST BE DRY AND WELL SECURED. NAIL OR SCREW EVERY 6" ALONG JOISTS TO AVOID SQUEAKING. SUB-FLOOR LEVEL: FLAT TO 3/16" PER 10-FOOT RADIUS. IF NOT LEVEL, SAND DOWN HIGH SPOTS AND LEVEL LOW SPOTS WITH A PORTLAND BASED LEVELING PATCH, INSTALL PER MFR'S INSTRUCTIONS.

## FLOOR BASE:

4" RUBBER, COLOR AS SELECTED BY OWNER'S REPRESENTATIVE.

## PAINT:

APPLY PAINTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND MASTER PAINTERS INSTITUTE (MPI) - ARCHITECTURAL PAINTING SPECIFICATION MANUAL.

MANUFACTURER: "BENJAMIN MOORE" (TO MATCH EXISTING FINISHES)

APPLY (1) PRIME COAT AND (2) FINISH COATS. PRIME ALL BACKS OF EXTERIOR WOOD SIDING AND CUT ENDS.

EXTERIOR SIDING: AURA EXTERIOR LOW LUSTRE, BASE 3, SAGE GREEN  
EXTERIOR TRIM: AURA EXTERIOR LOW LUSTRE, BASE 1, EASTER LILY  
INTERIOR GWB: REGAL SELECT, WHITE DOVE  
INTERIOR TRIM: REGAL SELECT, WHITE DOVE

## WOOD DOOR REFINISH:

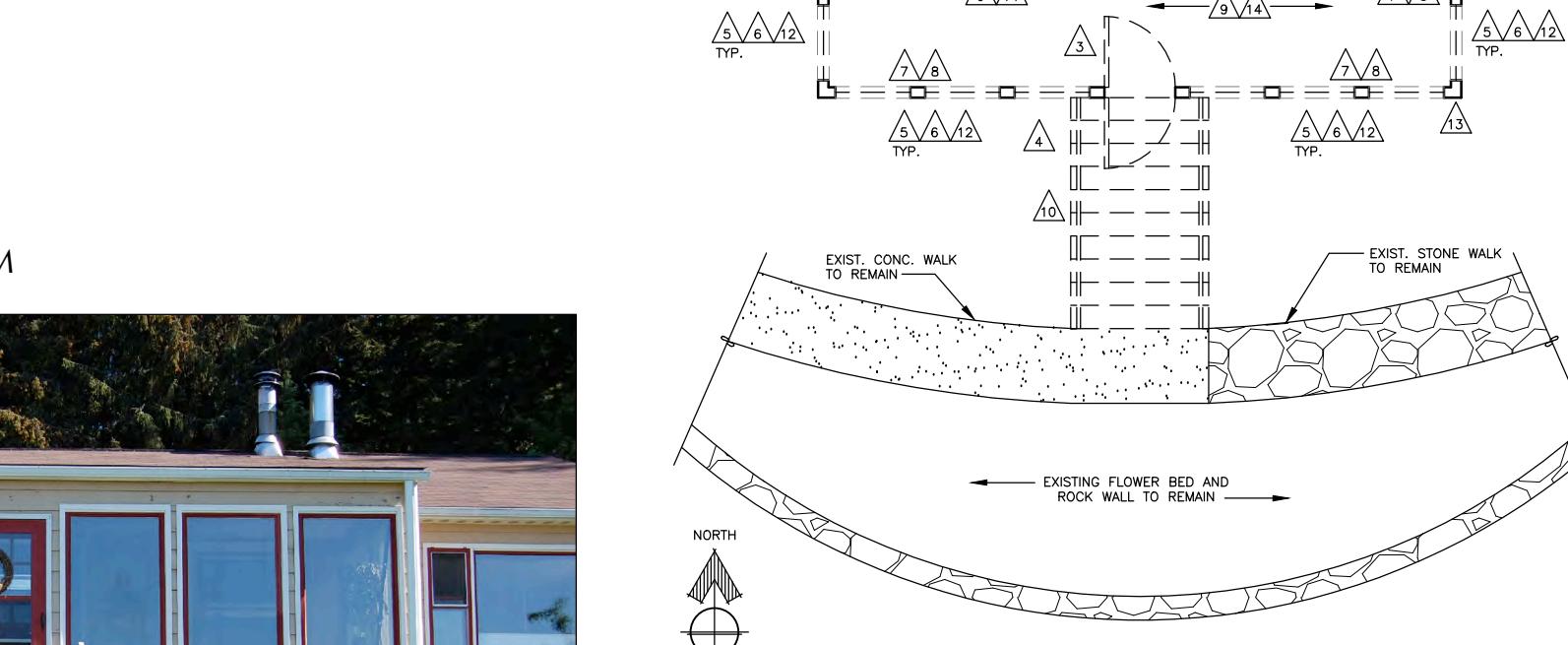
SAND AND SCRAPE AS NECESSARY TO REMOVE EXIST. FINISH, STAIN (COLOR AS SELECTED BY PROJECT REPRESENTATIVE), APPLY (2) COATS OF URETHANE FINISH (SATIN FINISH) WITH LIGHT SANDING IN BETWEEN COATS.

WOOD SIDING: PLAIN-BEVELED CEDAR, 7-1/2" - 8" EXPOSURE, BACK PRIME, TO MATCH EXISTING.

WOOD STAIRS: PRESSURE TREAT LUMBER (P.T.) WITH WATERBORNE PRESERVATIVE ACCORDING TO AWPA U1; USE CATEGORY UC3B, APPEARANCE GRADE. NEW WORK TO MATCH EXIST. STAIRS ON WEST SIDE. INCLUDE CONCRETE PAD AT BASE OF STAIRS. FIELD-TREAT ALL CUT ENDS. COORD. INTEGRATION WITH STONE WALKWAY PER OWNER'S REPRESENTATIVE.

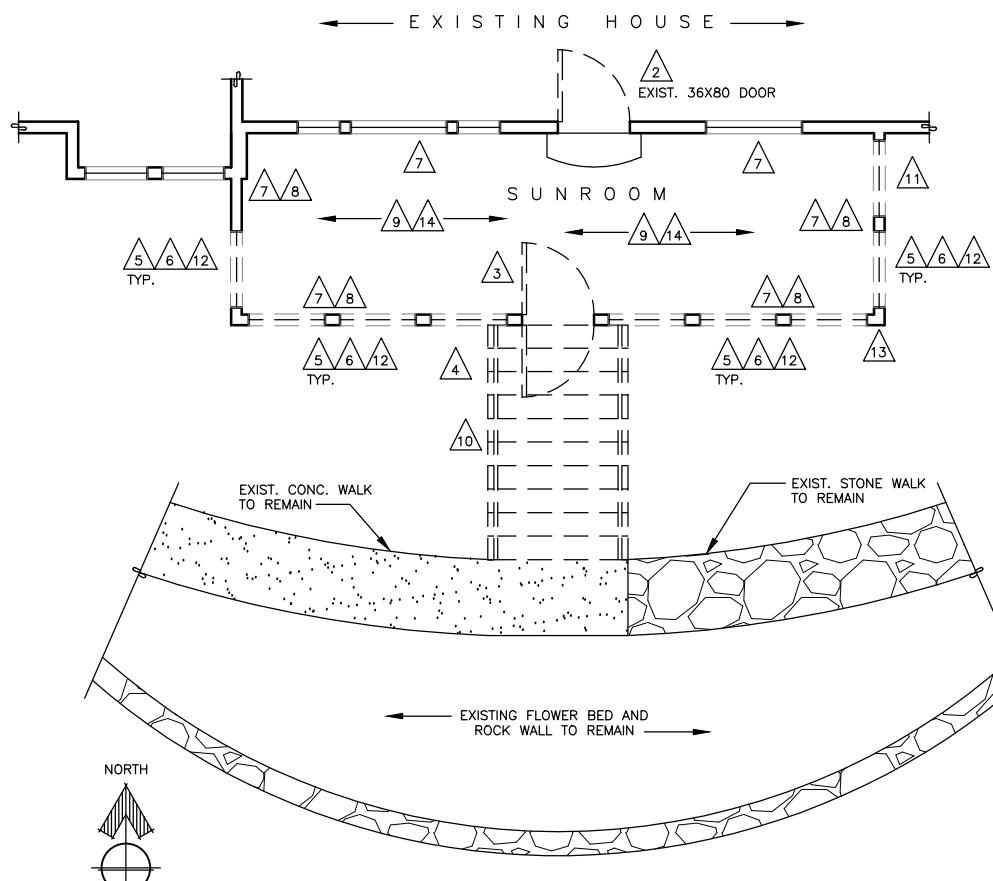
MECHANICAL: SEE MECH. DRAWINGS

ELECTRICAL: SEE ELEC. DRAWINGS



## CRAWL SPACE (DEMO)

SCALE: 1/4" = 1'-0" D:\CAD\1702



## SUNROOM PLAN (DEMO)

SCALE: 1/4" = 1'-0" D:\CAD\1702

## DEMOLITION NOTES

- 1 REMOVE EXISTING GROUND VAPOR BARRIER
- 2 REMOVE EXISTING INTERIOR WOOD DOOR. REFINISH DOOR (SEE SPEC.) AND REINSTALL. REUSE EXISTING HARDWARE.
- 3 REMOVE EXISTING EXTERIOR WOOD DOOR, FRAME AND EXISTING HARDWARE. SALVAGE HARDWARE FOR REUSE.
- 4 REMOVE EXISTING WOODEN STORM DOOR.
- 5 REMOVE EXISTING WINDOWS.
- 6 REMOVE EXISTING WOOD SIDING AND ASSOCIATED TRIM.
- 7 REMOVE EXISTING INTERIOR T&G WOOD PANELING TO EXPOSE EXISTING FRAMING FOR NEW FOAM INSULATION.
- 8 REMOVE DAMAGED OR ROTTED WALL FRAMING MEMBERS. ASSUME 10% REPLACEMENT.
- 9 REMOVE DAMAGED OR ROTTED FLOOR DECKING AND FLOOR FRAMING MEMBERS. ASSUME 10% REPLACEMENT.
- 10 REMOVE EXISTING CONCRETE STAIRS AND METAL RAILINGS.
- 11 REMOVE EXISTING THROUGH-WALL VENT.
- 12 REMOVE EXISTING METAL FLASHING AT STONE WALL AND SIDING.
- 13 REMOVE DOWNSPOUT. SALVAGE FOR REUSE.
- 14 REMOVE EXISTING VINYL FLOORING.

CONSTRUCTION DOCUMENTS  
JENSEN-OLSON ARBORETUM  
SUNROOM RENOVATION  
23035 Glacier Highway  
Juneau, Alaska 99801  
CBI PROJECT NO. BE17-244

Number	Date	By	Description of Revisions

Sheet Title  
SPECIFICATIONS  
CRAWL SPACE (DEMO)  
SUNROOM (DEMO)

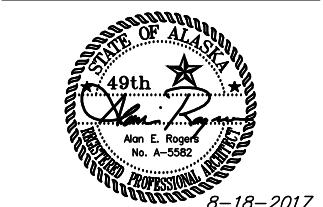
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Designed AER Drawn AER  
Date AUGUST 18, 2017 Checked AER  
Approved By AER Job Number 1702

Sheet Number

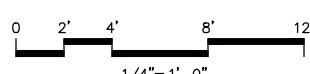
A1 OF 5

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ARCHITECTS, LLC

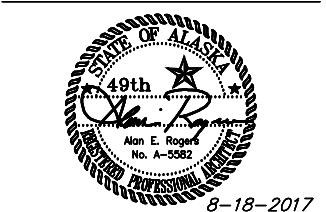
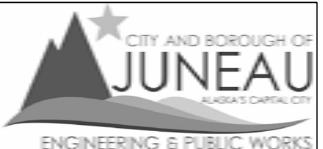
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CBI Bldg. Permit No. \_\_\_\_\_







8-18-2017

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**JENSEN-OLSON ARBORETUM  
SUNROOM RENOVATION**

23035 Glacier Highway  
Juneau, Alaska 99801

CBJ PROJECT NO. BE17-244

CONSTRUCTION DOCUMENTS

Number	Date	By	Description of Revisions

Sheet Title
EXTERIOR ELEVATIONS

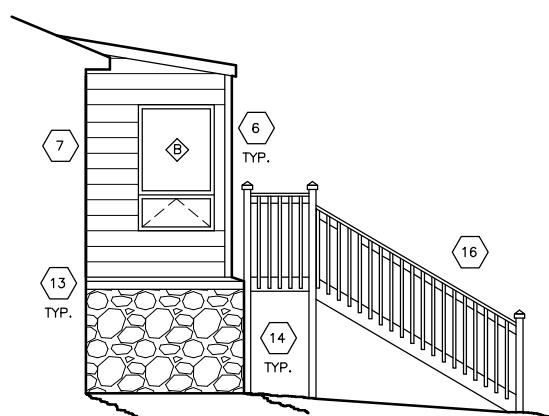
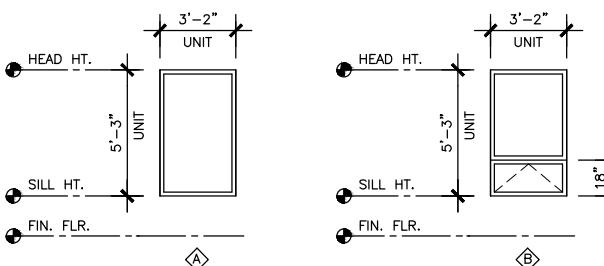
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**NEW WORK NOTES**

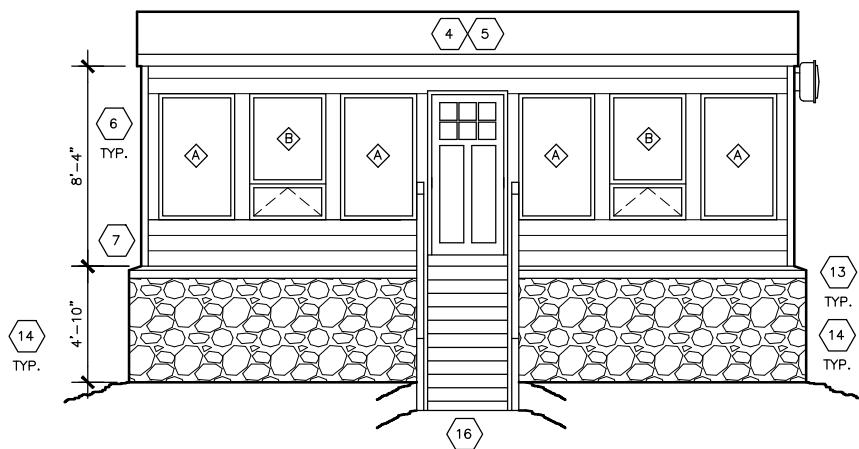
- 1 INSTALL A COMPLETE VAPOR BARRIER WITH SEALED SEAMS AND EDGES ON THE FLOOR AND UP THE WALLS OF THE CRAWL SPACE.
- 2 SPRAY FOAM INSULATION BETWEEN THE EXPOSED WALL STUDS (FULL DEPTH) OF THE CRAWL SPACE AND 2" ON THE CONCRETE FOUNDATION WALL.
- 3 REFINISH REMOVED INTERIOR WOOD DOOR. REINSTALL WITH EXISTING HARDWARE.
- 4 INSTALL NEW EXTERIOR DOOR, WEATHERSEAL AND THRESHOLD. REINSTALL EXISTING HARDWARE.
- 5 INSTALL NEW STORM DOOR.
- 6 INSTALL NEW EXTERIOR WINDOWS PER MFR'S INSTRUCTIONS, INSTALL ASSOCIATED WOOD TRIM.
- 7 INSTALL NEW CEDAR SIDING. PRIME (INCLUDING BACK PRIMING) AND PAINT ALL SIDING. REPLACE ALL TRIM TO MATCH EXIST. INSTALL NEW BUILDING WRAP.
- 8 REPLACE MOISTURE DAMAGED OR ROTTED WOOD FLOOR SHEATHING, WALL FRAMING MEMBERS AND FLOOR FRAMING MEMBERS WITH MATERIALS TO MATCH EXISTING. ASSUME 10% REPLACEMENT. REMOVE ALL WOOD WALL PANELING, REPLACE WITH GWB (WR).
- 9 SPRAY FOAM INSULATE EXTERIOR WALLS.
- 10 INSTALL NEW ELECTRICAL OUTLETS PER PLAN (SEE ELEC.).
- 11 INSTALL NEW HEATERS INTO THE SUNROOM PER PLAN (SEE MECH.).
- 12 INSTALL NEW EXHAUST VENT (TO OUTSIDE) WITH HUMIDISTAT CONTROLS (SEE MECH.).
- 13 INSTALL METAL FLASHING AT CONNECTION OF STONE WALL AND SIDING. SLOPE TO DRAIN AWAY FROM STRUCTURE.
- 14 REPLACE MISSING STONework. RE-POINT DAMAGED AREAS. SEAL ENTIRE STONE WALL.
- 15 SEAL EXISTING LOWER VENT TO MATCH EXISTING ADJACENT SURFACES.
- 16 INSTALL NEW WOODEN STAIRS AND RAILINGS TO MATCH EXISTING ON WEST SIDE OF HOUSE. SEE PHOTOS ON SHEET A5.
- 17 REINSTALL METAL DOWNSPOUT. DIRECT DOWNSPOUT EXTENSION 4 FEET TO DRAIN AWAY FROM FOUNDATION.
- 18 INSTALL NEW FLOORING AND WALL BASE.

**WINDOW TYPES**



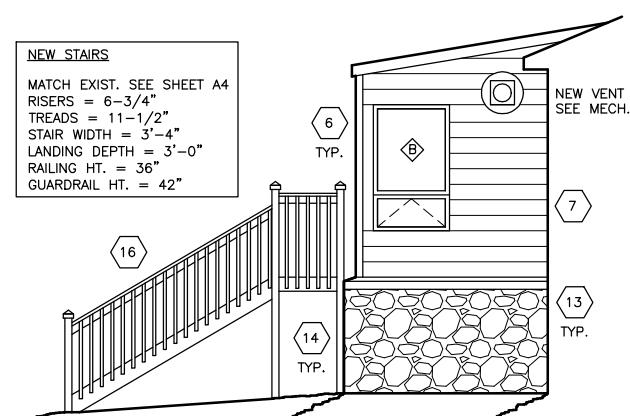
**A** WEST ELEVATION

SCALE: 1/4" = 1'-0" D:\CAD\1702



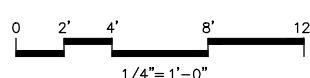
**B** SOUTH ELEVATION

SCALE: 1/4" = 1'-0" D:\CAD\1702



**C** EAST ELEVATION

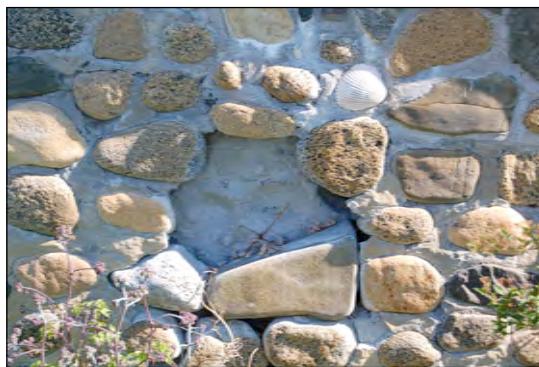
SCALE: 1/4" = 1'-0" D:\CAD\1702





EXISTING SOUTH FACE OF SUNROOM

- 4 REMOVE EXISTING WOODEN STORM DOOR.
- 5 REMOVE EXISTING WINDOWS AND TRIM.
- 6 REMOVE EXISTING WOOD SIDING AND ASSOCIATED TRIM.
- 10 REMOVE EXISTING CONCRETE STAIRS AND METAL RAILINGS.
- 12 REMOVE EXISTING METAL FLASHING AT STONE WALL AND SIDING.
- 13 REMOVE DOWNSPOUT, SALVAGE FOR REUSE.



EXISTING STONE WALL. (SHOWING MISSING STONES & GAPS IN  
GROUT - SEE NEW WORK)



### EXISTING EXTERIOR CONCRETE STAIRS

 10 REMOVE EXISTING CONCRETE STAIRS AND METAL RAILINGS



### EXISTING SUNROOM DETAILS

-  4 REMOVE EXISTING WOODEN STORM DOOR.
-  6 REMOVE EXISTING WOOD SIDING AND ASSOCIATE TRIM



### EXISTING SUNROOM DETAILS

 5 REMOVE EXISTING WINDOWS AND TRIM.	 11 REMOVE EXISTING THROUGH-WALL VENT.
 6 REMOVE EXISTING WOOD SIDING AND ASSOCIATED TRIM	 12 REMOVE EXISTING METAL FLASHING AT STONE WALL AND SIDING.

NOT TO SCALE

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# JENSEN-OLSON ARBORETUM SUNROOM RENOVATION

23035 Glacier Highway  
Juneau, Alaska 99801

CBJ PROJECT NO. BE17-244

Number	Date	By	Description of Revisions

**DEMOLITION WORK  
EXIST. CONDITIONS  
PHOTOS**

Scale AS SHOWN (HALF SCALE AT 11X17)  
Designed AER Drawn AER  
Date AUGUST 18, 2017 Checked AER  
Approved By AER Job Number 1702

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Sheet Number

A4 OF 5



EXISTING CRAWL SPACE

1 REMOVE EXISTING GROUND VAPOR BARRIER.



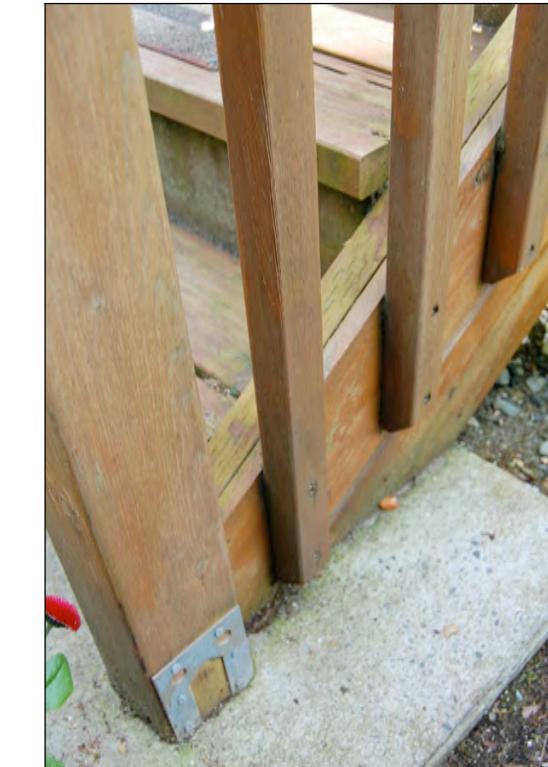
SUNROOM DETAILS

3 REMOVE EXISTING EXTERIOR WOOD DOOR, FRAME AND EXISTING HARDWARE. SALVAGE HARDWARE FOR REUSE.  
 5 REMOVE EXISTING WINDOWS AND TRIM.  
 7 REMOVE EXISTING INTERIOR T&G WOOD PANELING.



EXISTING WEST SIDE EXTERIOR STAIRS

NEW SOUTH STAIRS TO MATCH EXISTING  
WEST STAIRS, STYLE, DETAIL AND MATERIALS.



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A5 OF 5  
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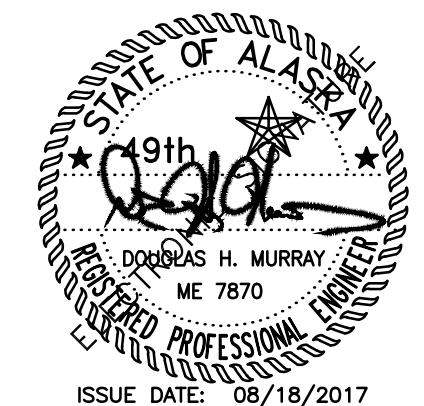
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SYMBOLS		HEATING UNIT SCHEDULE				MECHANICAL SPECIFICATIONS	
1	CONSTRUCTION NOTE	EQUIPMENT	DESIGN MANUFACTURER	MODEL	CONTROLS/OPTIONS	SECTION 15010 – GENERAL MECHANICAL	
TP	THERMOSTAT/HUMIDISTAT – ROOM	FINNED PIPE, FP-1	SLANTFIN	HD-850 H-1 CORE	SINGLE-ROW, 700 BTU/HR/FT WATER RATING AT AVERAGE 170°F WATER TEMP. 3/4" COPPER TUBE WITH 3-1/4" x 3" ALUMINUM FINS. IBR RATED. 8-1/2" HEAVY DUTY, HIGH CABINET, 16 GAGE FRONT / 20 GAGE BACK, SLOPING TOP. PROVIDE TUBE SUPPORTS AND CABINET ENDS (2).	1. WORK INCLUDED: The work consists of furnishing labor, equipment, and materials in accordance with the specifications or drawings, or both, together with any incidental items not shown or specified which can be reasonably inferred or taken as belonging to the work and necessary in good practice to provide a complete system described or shown as intended. Equipment installed shall be identical and of equal quality as specified.	
FP	FINNED PIPE					2. CODES AND REGULATIONS: All work hereunder shall be strictly in conformance with 2012 International Building Codes, CBJ Title 19 Requirements, 2015 National Electric Code and applicable codes, and regulations. All electrical equipment shall bear the U.L. label.	
HS	REMOVAL/CONNECTION POINT					3. APPROVALS: Trade names and catalog numbers of manufactured products included herein are intended to indicate the type, size, and grade of quality of equipment and materials required and such equipment and materials are approved for installation, subject to full compliance with the specifications. Requests for approval of other manufacturers than those specified must be accompanied by complete descriptions including overall dimensions, performance data, and, if catalog material, identification of specific products or items proposed. Not less than four copies of all data required shall be furnished to the Owner for approval.	
\$	HEATING SUPPLY					4. DATA REQUIRED: Furnish approval data for items where data is required. Not less than four copies of such data shall be furnished the Owner for approval. Other or additional data, as the Owner may deem necessary, shall also be provided when requested. Approval of the data shall not eliminate responsibility for compliance with the drawings or specifications unless specific attention has been called in writing to proposed deviations at the time of transmittal of the data and such deviations have been approved, nor shall it eliminate the responsibility for freedom of errors of any sort in the data.	
—	CONTROLLER – DISCONNECT					5. AS-BUILT DRAWINGS: All changes shall be noted on a set of blueline prints as data for later preparation of as-built drawings. The prints marked for as-built conditions shall be delivered to the Owner prior to the Contractor's application for final payment.	
—	LOW VOLTAGE WIRING – BY ELEC.					6. ELECTRICAL WORK: See Electrical Documents.	
—	ISOLATING BALL VALVE – FULL PORT					7. OPERATING AND MAINTENANCE DATA: The following data shall be provided to the Owner for approval prior to the request for final inspection. Required are three copies and one copy of electronic data of manufacturers' instructions for operation and maintenance of all mechanical equipment and specialties, including replacement parts lists, capacity curves or charts, equipment data sheets, manufacturers' literature on the equipment, and as-built wiring diagrams and control drawings, all suitable for side binding to 8-1/2 x 11 inch size. All data not applicable to the job is to be crossed out or deleted.	
—	ISOLATING BALL VALVE – FULL PORT					8. TESTING AND BALANCING VENTILATION SYSTEMS: At the completion of the work, the exhaust fan is to be measured and recorded over its entire range of variable speed; record low and high air volumes. The testing and measuring will be done with instruments by persons or a firm experienced in the work, and approval of the personnel performing the measurement must be obtained previous to adjustment from the Owner. A resume' of the experience and background of the personnel proposed to do the adjusting is required. Logs will be recorded of all of the measurement data and given to the Owner for approval at the completion of the adjustment.	
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1. PIPE AND EQUIPMENT INSULATION: Insulate all new heating piping. All piping insulation must have a flame spread/smoke developed rating of 25/50 or less per ASTM E-84. Use mineral fiber, 1 inch thick. FS HH-I-558b, Form D, Type III, Class 12, with all-purpose flame retardant jacket.							
SECTION 15800 – AIR DISTRIBUTION							
1. EXHAUST FAN: Wall mounted type with mounting frame. Direct drive type with speed control and thermostat/humidistat mounted on wall. Adjustable backdraft damper and inlet grille. O&M data required. Thermostat/humidistat to control operation of fan. Fan volume adjustable via programming of Vari-Green controller. Thermostat/humidistat and disconnect provided hereunder and installed under Electrical division.							
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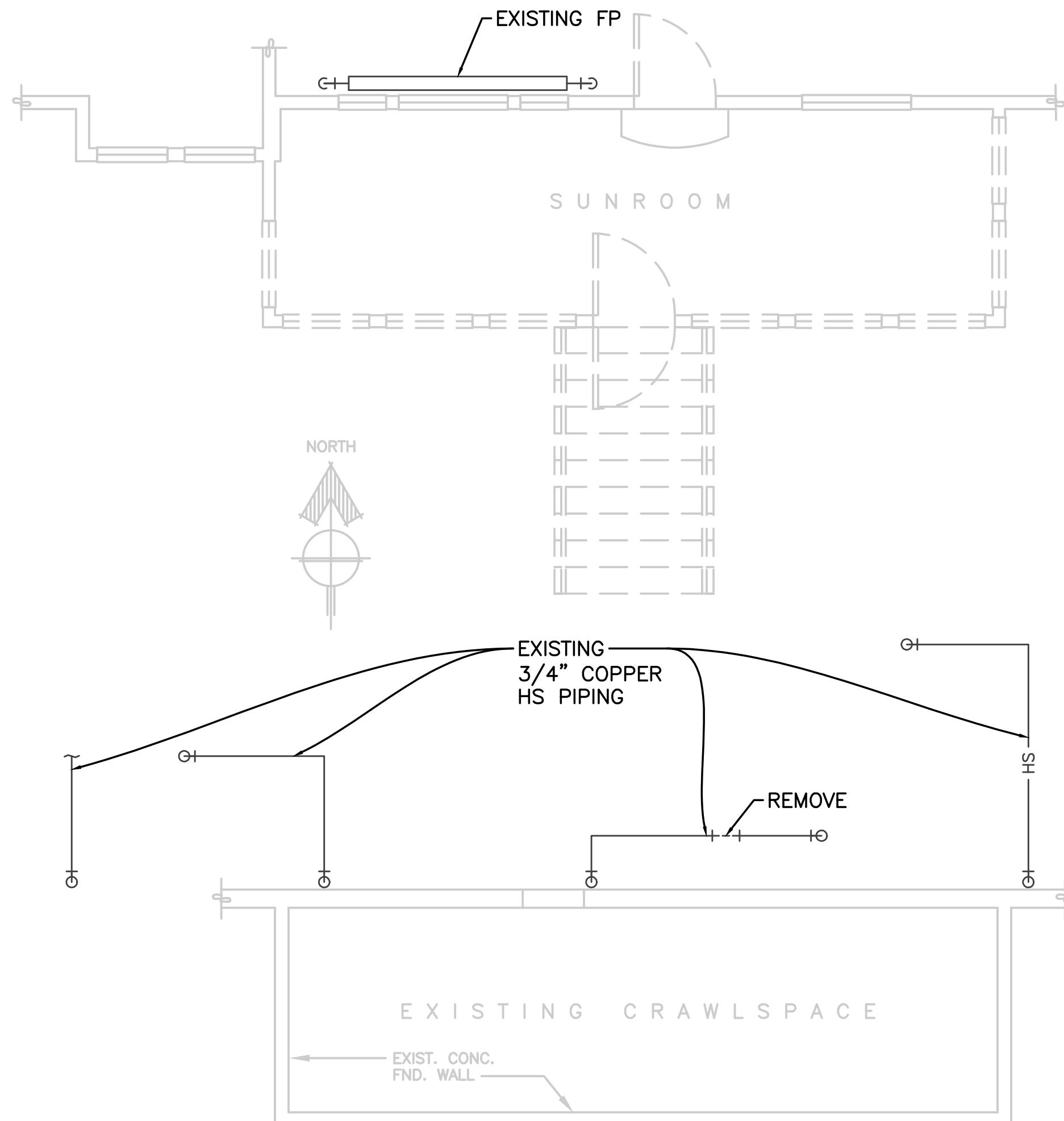


ISSUE DATE: 08/18/2017

CBJ Bldg. Permit No.

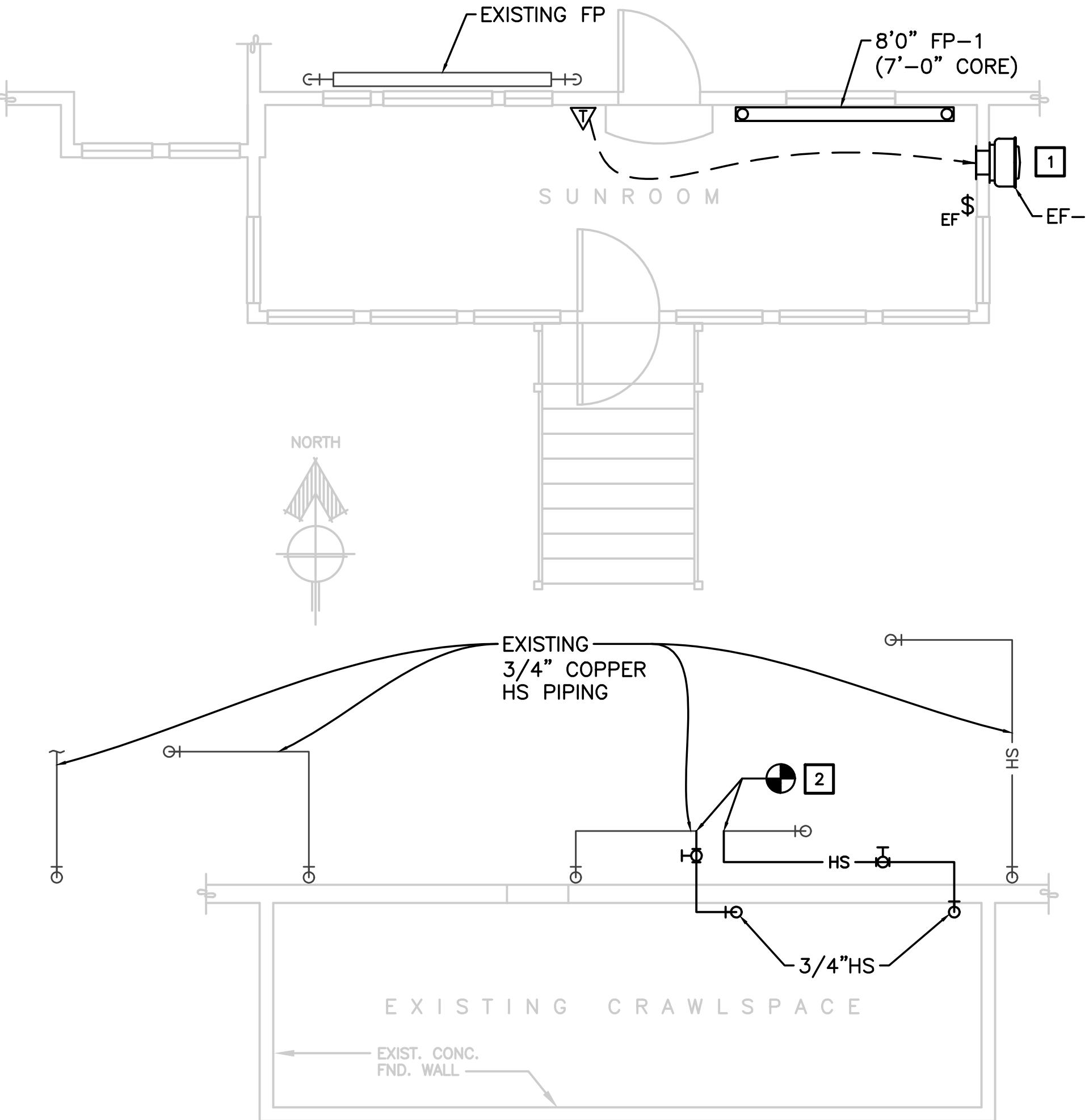
**CONSTRUCTION NOTES:**

- 1 ALIGN TOP OF EF-1 WALL OPENING WITH TOP OF ADJACENT WINDOW.
- 2 HEATING SUPPLY FOR FP-1 TO BE CONNECTED TO EXISTING FIN PIPE HEATING SUPPLY.



1 MECHANICAL DEMO PLAN

SCALE: 0 2' 4' 8'



2 NEW MECHANICAL PLAN

SCALE: 0 2' 4' 8'

CONSTRUCTION DOCUMENTS

**JENSEN-OLSON ARBORETUM  
SUNROOM RENOVATION**

23035 Glacier Highway  
Juneau, Alaska 99801

CBJ PROJECT NO. BE17-244

Number	Date	By	Description of Revisions

Sheet Title  
**FLOOR PLANS – MECHANICAL**

Scale AS SHOWN (HALF SCALE AT 11X17)  
Designed AER Drawn DMC  
Date AUGUST 18, 2017 Checked DM  
Approved By DM Job Number 1702

Sheet Number

M2 OF 2

