

CONSTRUCTION DOCUMENTS

JENSEN-OLSON ARBORETUM

SUNROOM RENOVATION

A.E. Rogers

ARCHITECTS, LLC

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ARCHITECTURAL

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ELECTRICAL

GORMAN ENGINEERS

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OWNER

CITY & BOROUGH OF JUNEAU

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Juneau, Alaska 99801

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ABBREVIATIONS

NOTE: THIS IS A GENERIC LIST. NOT ALL ABBREVIATIONS ARE USED IN DRAWINGS

AB	ANCHOR BOLTS	(E)	EXISTING	MTD	MOUNTED	REQ'D	REQUIRED
ACOUS	ACOUSTICAL	EXT	EXISTING	MTL	METAL	RESIL	RESILIENT
ACM	ASBESTOS CONTAINING MATERIAL	FA	EXISTING	MUL	MULLION	RFP	REINFORCED FIBERGLASS PANEL
ACT	ACOUSTICAL CEILING TILE	FD	FIRE ALARM	N	NORTH	ROTR	REGISTER
A.D.	ABOVE DATUM	FE	FLOOR DRAIN	NIC	NOT IN CONTRACT	RM	ROOM
AFF	ALUMINUM	FHC	FIRE EXTINGUISHER	NO OR #	NUMBER	RO	ROUGH OPENING
AL	ALUMINUM	FIN	FIRE HOSE CABINET	NOM	NOMINAL	SCHED	SCHEDULE
ARCH	ARCHITECTURAL	FL	FINISH	NTS	NOT TO SCALE	SD	SOAP DISPENSER
ASB	ASBESTOS	FOC	FLOOR	OA	OVERALL	SHTG	SHEATHING
ASPH	ASPHALT	FOF	FACE OF CONCRETE	OBSC	OBSCURE	SIM	SIMILAR
AVB	AIR & VAPOR BARRIER	FOS	FACE OF FINISH	OC	ON CENTER	SPEC	SPECIFICATIONS
BD	BOARD	FT	FACE OF STUDS	OD	OUTSIDE DIAMETER	STC	SOUND TRANSMISSION CLASS
BLDG	BUILDING	FUR	FOOT OR FEET	OFCI	OWNER FURNISH CONTRACTOR INSTALL	STD	STANDARD
BOD	BOTTOM OF DECK	FUT	FURRING	OFF	OFFICE	STL	STEEL
CB	CATCH BASIN	GA	GAUGE	OFOI	OWNER FURNISH	STRUCT	STRUCTURAL
CG	CORNER GUARD	GALV	GALVANIZED	OPNG	OWNER INSTALL	SS	STAINLESS STEEL
CI	CAST IRON	GB	GRAB BAR	OPP	OPPOSITE	TB	TOWEL BAR
CLG	CEILING	GL	GLASS	OSB	ORIENTED STAND BOARD	TEL	TELEPHONE
CLR	CLEAR	GR	GRADE	PIC	PLASTIC IMPREGNATED CORK	TER	TERRAZZO
COL	COLUMN	GYP	GYPSUM	PL	PLATE	IJI	TRUSS JOIST
CONC	CONCRETE	GWB	GYPSUM WALL BOARD	PLM	PLASTIC LAMINATE	TOD	TOP OF DECK
CORR	CORRIDOR	H	HIGH	PLYWD	PLYWOOD	TPD	TOILET PAPER DISPENSER
CRPT	CARPET	HC	HOSE BIBB	PR	PAIR	TS	TUBE STEEL
DEPT	DEPARTMENT	HDWH	ACCESSIBLE TO DISABLED	PRCST	PRE-CAST	TV	TELEVISION
DET	DETAIL	HT	HARDWOOD	PT	PRESSURE TREATED	TYP	TYPICAL
DIA	DIAMETER	HM	HOLLOW METAL	PTD	PAINTED	UL	UNDERWRITER LABORATORY
DIM	DIMENSION	INSUL	INSULATION	PTN	PARTITION	UON	UNLESS OTHERWISE NOTED
DN	DOWN	JAN	JANITOR	PVC	POLY VINYL CHLORIDE	VB	VAPOR BARRIER
DS	DOWNSPOUT	LAV	LAVATORY	QT	QUARRY TILE	VEST	VESTIBULE
DWG	DRAWING	LT	LIGHT	R	RISER	VTR	VENT THROUGH ROOF
EA	EACH	MAX	MAXIMUM	RD	RADIUS	WC	WATER CLOSET
ELEV	ELEVATION	M/E	MECHANICAL AND ELECTRICAL	REF	REFERENCE	WD	WOOD
EP	ELECTRICAL	MECH	MECHANICAL	REFR	REFRIGERATOR	WP	WATERPROOF
EQ	ELECTRICAL PANELBOARD	MIN	MINIMUM	REFR	REFRIGERATOR	WR	WATER RESISTANT
EQUIP	EQUAL EQUIPMENT	MISC	MISCELLANEOUS	REIN	REINFORCED	WSC	WEIGHT
						WT	WEIGHT
						(X)	REMOVE

DRAWING LEGEND

BUILDING SECTION		SECTION NUMBER SHEET NUMBER
EXTERIOR ELEVATION		ELEVATION NUMBER SHEET NUMBER
WALL SECTION		SECTION NUMBER SHEET NUMBER
DETAIL REFERENCE		DETAIL NUMBER SHEET NUMBER
INTERIOR ELEVATIONS		ELEVATION NUMBER SHEET NUMBER
		NEW CONSTRUCTION
		ITEMS TO BE REMOVED
		EXISTING ITEMS TO REMAIN
		DOOR NUMBER

GENERAL NOTES

- ALL CONSTRUCTION TO BE PER 2009 IBC AND ALL APPLICABLE MECHANICAL, ELECTRICAL, FIRE CODES (AS AMENDED BY THE CITY AND BOROUGH OF JUNEAU) AND THE JUNEAU ZONING/LAND USE REQUIREMENTS. THE CONSTRUCTION WILL BE IN ACCORDANCE WITH THE ADAAG (AMERICANS WITH DISABILITIES ACT – ACCESSIBILITY GUIDELINES).
- ALL INTERIOR WALLS & FURRING ARE TO BE 2X WOOD FRAMING UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO FACE OF FRAMING MEMBER UNLESS OTHERWISE NOTED. ALL WOODEN FRAMING MEMBERS IN CONTACT WITH THE GROUND, ROCK OR MASONRY ARE TO BE PRESSURE TREATED.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK AND TO NOTIFY THE OWNER'S REPRESENTATIVE AS TO ANY DISCREPANCIES.
- REMOVE ALL ELECTRICAL OUTLETS, TELEPHONE JACKS, SWITCHES AND THERMOSTATS THAT ARE LOCATED IN INTERIOR WALLS TO BE REMOVED OR WALLS WHERE A CONFLICT WITH NEW WORK EXISTS. IF UTILITIES ARE NOT TO BE EXTENDED, CAP IN A SAFE MANNER IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS.
- WHERE REMOVAL OF EXISTING CONDITIONS HAS OCCURRED, PATCH AS REQUIRED TO MATCH EXISTING ADJACENT SURFACES AND FINISHES.
- DISPOSAL OF DEMOLITION MATERIAL (NOT BE BE SALVAGED) IS THE RESPONSIBILITY OF THE CONTRACTOR. BURNING OF MATERIALS AND DISPOSAL OF CONCRETE AND EXCAVATED MATERIAL WILL NOT BE ALLOWED ON THE PROJECT SITE.
- CONTRACTOR SHALL PROVIDE A MINIMUM OF 24 HOURS NOTICE PRIOR TO SHUTTING OFF ANY SYSTEM.
- THESE DRAWINGS ARE FOR USE ON THE JENSEN-OLSON ABORETUM SUNROOM RENOVATION PROJECT ONLY. THEY ARE NOT TO BE REUSED IN WHOLE OR IN PART ON ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION FROM A.E. ROGERS ARCHITECTS, LLC.

BUILDING CODE SUMMARY

ALL CONSTRUCTION TO BE PER APPLICABLE ARCHITECTURAL, MECHANICAL, ELECTRICAL, FIRE CODES (AS AMENDED BY THE CITY AND BOROUGH OF JUNEAU) AND THE JUNEAU ZONING/LAND USE REQUIREMENTS. THE CONSTRUCTION WILL BE IN ACCORDANCE WITH THE ADAAG (AMERICANS WITH DISABILITIES ACT – ACCESSIBILITY GUIDELINES).

CODE INTERNATIONAL BUILDING CODE (IBC) 2009

OCCUPANCY (SEC. 302): R-3 (SINGLE FAMILY RESIDENCE)

CONSTRUCTION TYPE: V-B (WOOD, NON-RATED) (TABLE 601)

AUTOMATIC SPRINKLER SYSTEM: NOT REQUIRED FOR R-3 OCCUPANCY PER CBJ AMENDMENTS. BUILDING IS NOT SPRINKLERED.

DRAWING SCHEDULE

ARCHITECTURAL

- A0 CODE INFORMATION SYMBOLS & ABBREVIATIONS
- A1 SPECIFICATIONS, CRAWL SPACE (DEMO), SUNROOM (DEMO)
- A2 CRAWL SPACE (NEW), SUNROOM (NEW), WALL SECTION
- A3 EXTERIOR ELEVATIONS
- A4 DEMOLITION WORK, EXIST. CONDITIONS PHOTOS
- A5 DEMOLITION WORK, EXIST. CONDITIONS PHOTOS

MECHANICAL

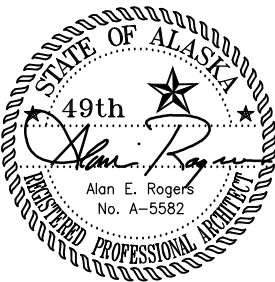
- M1 SYMBOLS, SCHEDULES, & SPECIFICATIONS
- M2 FLOOR PLANS MECHANICAL

ELECTRICAL

- E1 LEGEND, NOTES & SPECIFICATIONS, ELECTRICAL PLAN, SHEET NOTES

CBJ CONTRACT NO. BE17-244
ARCHITECT'S PROJECT NO. 1702

CODE INFORMATION SYMBOLS & ABBREVIATIONS



A0

AUGUST 18, 2017



SPECIFICATIONS

CONTRACTOR NOTES

SELECT MANUFACTURERS LISTED OR SUBMIT EQUAL FOR APPROVAL BY OWNER'S REPRESENTATIVE. SUBMITTALS REQUIRED ON ALL PRODUCTS.

CONTRACTOR TO REVIEW ALL SUBMITTALS AND SHOP DRAWINGS FOR COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS BEFORE ORDERING MATERIALS.

METAL FLASHING

TOP OF STONE, 24 GAUGE GALV., PRE-FINISHED W/KYNAR 500, COLOR AS SELECTED BY OWNER'S REPRESENTATIVE.

STONE/CONCRETE CLEANING & SEALANT

WET SAND BLAST EXISTING EXPOSED STONE AND CONCRETE. SOME MINOR REPAIR OF MORTAR JOINTS REQUIRED. SEAL STONE AND CONCRETE WITH "FABRISHIELD 650", SILOXANE/QUARTZ WATER REPELLENT (604-253-3177). FOLLOW MANUFACTURER'S INSTRUCTIONS.

SPRAY FOAM INSULATION:

RIGID POLYURETHANE, CLASS I ASTM, NOMINAL DENSITY 2LBS/CF, BLOWING AGENT HFC 245fa

1. HEATLOK SOY 200 (WWW.ALASKARENOVATORS.COM) (907-780-3627)

BUILDING WRAP:

#15 ROOFING FELT, ASTM D 226/D 226M TYPE I, ASPHALT-SATURATED ORGANIC FELT, NONPERFORATED.

GROUND VAPOR BARRIER: (CRAWL SPACE)

MEET STANDARD ASTM E-1745, 10 MIL

1. FLATIRON FILMS LLC. (WWW.FLATIRON-FILMS.COM)
2. GRIFFOLYN, DIVISION OF REEF INDUSTRIES (WWW.REEFINDUSTRIES.COM)
3. RAVEN INDUSTRIES. (WWW.RUFECO.COM)
4. W.R. MEADOWS, INC. (WWW.WRMEADOWS.COM)

REPLACEMENT WINDOWS:

1. "MILGARD, MONTECITO" (WWW.MILGARD.COM), VINYL, FIXED & AWNING, WHITE, NAIL FIN, LOW-E, ARGON FILLED.

REPLACEMENT DOORS:

STORM DOOR: "ANDERSEN" 4000 SERIES, FULLVIEW, QUICK RELEASE GLASS/INSECT SCREEN CHANGE, 3-POINT LOCKING SYSTEM, TEMPERED GLASS, COLOR AND HARDWARE AS SELECTED BY OWNER'S REPRESENTATIVE.

EXTERIOR DOOR: "THERMA-TRU", FIBERGLASS, 3'-0" X 6'-8", "CLASSIC-CRAFT AMERICAN STYLE", 2-PANEL, 6-LITE SIMULATED DIVIDED (SDL), CLEAR GLASS, LOW-E. DOUGLAS FIR WOOD GRAIN, PAINTABLE DOOR SURFACE.

GYPSUM WALLBOARD: (GWB)

5/8" TYPE "X" WATER RESISTANT (WR) TO BE USED ON ALL WALLS UNLESS OTHERWISE NOTED.

VINYL FLOOR FINISH:

"TAS FLOORING", VINYL PLANK, 7.5 MM THICK, 20 MIL WEAR LAYER, URETHANE FINISH, LOW GLOSS, STYLE "TANDEM", COLOR WINDSOR, 30 YR. WARRANTY, WOOD SUB-FLOOR MUST BE DRY AND WELL SECURED. NAIL OR SCREW EVERY 6" ALONG JOISTS TO AVOID SQUEAKING. SUB-FLOOR LEVEL: FLAT TO 3/16" PER 10-FOOT RADIUS. IF NOT LEVEL, SAND DOWN HIGH SPOTS AND LEVEL LOW SPOTS WITH A PORTLAND BASED LEVELING PATCH, INSTALL PER MFR'S INSTRUCTIONS.

FLOOR BASE:

4" RUBBER, COLOR AS SELECTED BY OWNER'S REPRESENTATIVE.

PAINT:

APPLY PAINTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND MASTER PAINTERS INSTITUTE (MPI) - ARCHITECTURAL PAINTING SPECIFICATION MANUAL.

MANUFACTURER: "BENJAMIN MOORE" (TO MATCH EXISTING FINISHES)

APPLY (1) PRIME COAT AND (2) FINISH COATS. PRIME ALL BACKS OF EXTERIOR WOOD SIDING AND CUT ENDS.

EXTERIOR SIDING: AURA EXTERIOR LOW LUSTRE, BASE 3, SAGE GREEN
EXTERIOR TRIM: AURA EXTERIOR LOW LUSTRE, BASE 1, EASTER LILY
INTERIOR GWB: REGAL SELECT, WHITE DOVE
INTERIOR TRIM: REGAL SELECT, WHITE DOVE

WOOD DOOR REFINISH:

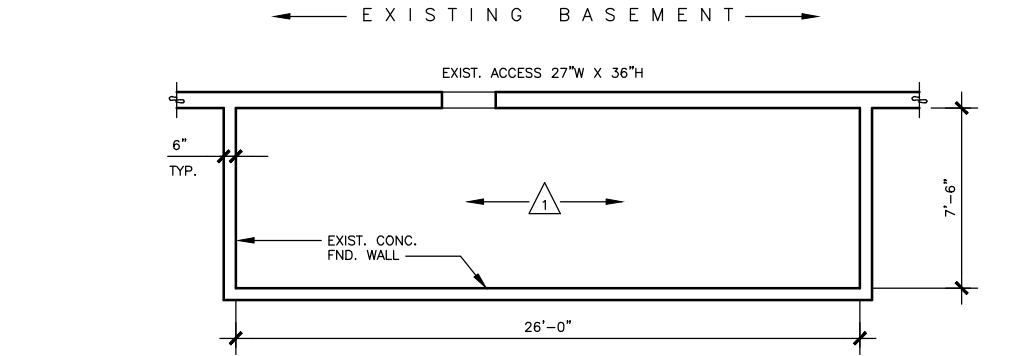
SAND AND SCRAPE AS NECESSARY TO REMOVE EXIST. FINISH, STAIN (COLOR AS SELECTED BY PROJECT REPRESENTATIVE), APPLY (2) COATS OF URETHANE FINISH (SATIN FINISH) WITH LIGHT SANDING IN BETWEEN COATS.

WOOD SIDING: PLAIN-BEVELED CEDAR, 7-1/2" - 8" EXPOSURE, BACK PRIME, TO MATCH EXISTING.

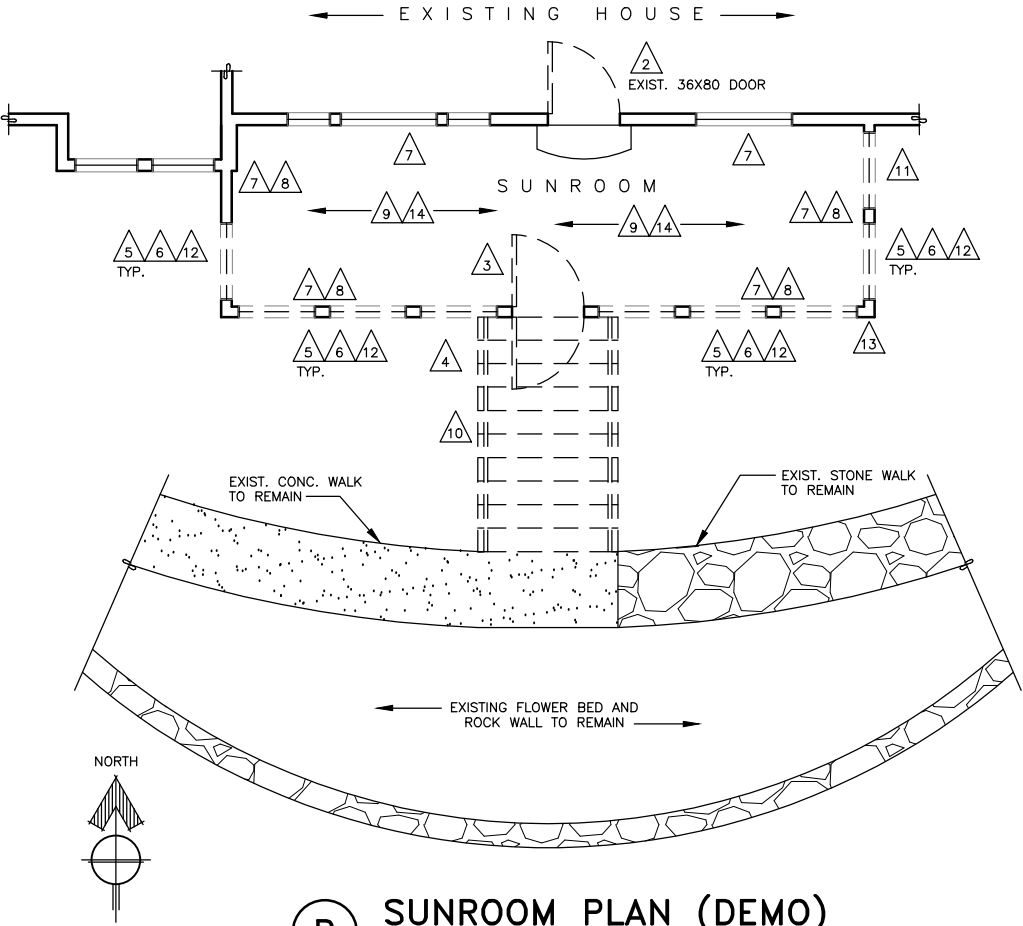
WOOD STAIRS: PRESSURE TREAT LUMBER (P.T.) WITH WATERBORNE PRESERVATIVE ACCORDING TO AWWA U1; USE CATEGORY UC3B, APPEARANCE GRADE. NEW WORK TO MATCH EXIST. STAIRS ON WEST SIDE. INCLUDE CONCRETE PAD AT BASE OF STAIRS. FIELD-TREAT ALL CUT ENDS. COORD. INTEGRATION WITH STONE WALKWAY PER OWNER'S REPRESENTATIVE.

MECHANICAL: SEE MECH. DRAWINGS

ELECTRICAL: SEE ELEC. DRAWINGS



A CRAWL SPACE (DEMO)
SCALE: 1/4" = 1'-0" D:\CAD\1702



B SUNROOM PLAN (DEMO)
SCALE: 1/4" = 1'-0" D:\CAD\1702

DEMOLITION NOTES

- 1 REMOVE EXISTING GROUND VAPOR BARRIER
- 2 REMOVE EXISTING INTERIOR WOOD DOOR. REFINISH DOOR (SEE SPEC.) AND REINSTALL. REUSE EXISTING HARDWARE.
- 3 REMOVE EXISTING EXTERIOR WOOD DOOR, FRAME AND EXISTING HARDWARE. SALVAGE HARDWARE FOR REUSE.
- 4 REMOVE EXISTING WOODEN STORM DOOR.
- 5 REMOVE EXISTING WINDOWS.
- 6 REMOVE EXISTING WOOD SIDING AND ASSOCIATED TRIM.
- 7 REMOVE EXISTING INTERIOR T&G WOOD PANELING TO EXPOSE EXISTING FRAMING FOR NEW FOAM INSULATION.
- 8 REMOVE DAMAGED OR ROTTED WALL FRAMING MEMBERS. ASSUME 10% REPLACEMENT.
- 9 REMOVE DAMAGED OR ROTTED FLOOR DECKING AND FLOOR FRAMING MEMBERS. ASSUME 10% REPLACEMENT.
- 10 REMOVE EXISTING CONCRETE STAIRS AND METAL RAILINGS.
- 11 REMOVE EXISTING THROUGH-WALL VENT.
- 12 REMOVE EXISTING METAL FLASHING AT STONE WALL AND SIDING.
- 13 REMOVE DOWNSPOUT. SALVAGE FOR REUSE.
- 14 REMOVE EXISTING VINYL FLOORING.

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CBJ Bldg. Permit No. _____

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SUNROOM RENOVATION**

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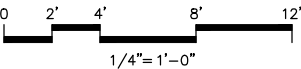
CBJ PROJECT NO. BE17-244

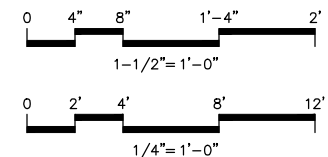
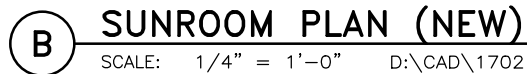
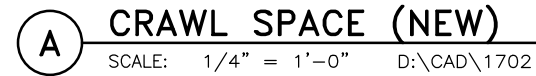
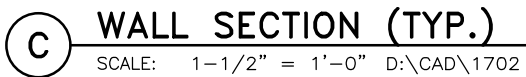
Number	Date	By	Description of Revisions
Sheet Title			
SPECIFICATIONS			
CRAWL SPACE (DEMO)			
SUNROOM (DEMO)			
Scale AS SHOWN (HALF SCALE AT 11X17)			
Designed AER		Drawn AER	
Date AUGUST 18, 2017		Checked AER	
Approved By AER		Job Number 1702	

Sheet Number

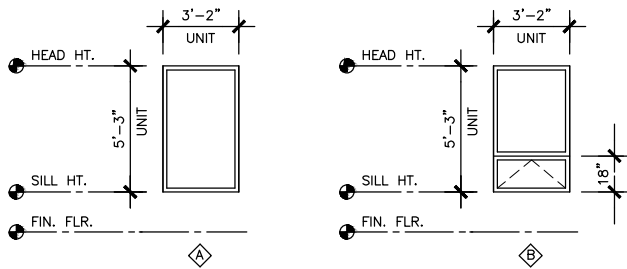
A1 OF 5

SOUTH FACE OF EXISTING SUNROOM





WINDOW TYPES



NEW WORK NOTES

1. INSTALL A COMPLETE VAPOR BARRIER WITH SEALED SEAMS AND EDGES ON THE FLOOR AND UP THE WALLS OF THE CRAWL SPACE.
2. SPRAY FOAM INSULATION BETWEEN THE EXPOSED WALL STUDS (FULL DEPTH) OF THE CRAWL SPACE AND 2" ON THE CONCRETE FOUNDATION WALL.
3. REFINISH REMOVED INTERIOR WOOD DOOR. REINSTALL WITH EXISTING HARDWARE.
4. INSTALL NEW EXTERIOR DOOR, WEATHERSEAL AND THRESHOLD. REINSTALL EXISTING HARDWARE.
5. INSTALL NEW STORM DOOR.
6. INSTALL NEW EXTERIOR WINDOWS PER MFR'S INSTRUCTIONS, INSTALL ASSOCIATED WOOD TRIM.
7. INSTALL NEW CEDAR SIDING, PRIME (INCLUDING BACK PRIMING) AND PAINT ALL SIDING. REPLACE ALL TRIM TO MATCH EXIST. INSTALL NEW BUILDING WRAP.
8. REPLACE MOISTURE DAMAGED OR ROTTED WOOD FLOOR SHEATHING, WALL FRAMING MEMBERS AND FLOOR FRAMING MEMBERS WITH MATERIALS TO MATCH EXISTING. ASSUME 10% REPLACEMENT. REMOVE ALL WOOD WALL PANELING, REPLACE WITH GWB (WR).
9. SPRAY FOAM INSULATE EXTERIOR WALLS.
10. INSTALL NEW ELECTRICAL OUTLETS PER PLAN (SEE ELEC.).
11. INSTALL NEW HEATERS INTO THE SUNROOM PER PLAN (SEE MECH.).
12. INSTALL NEW EXHAUST VENT (TO OUTSIDE) WITH HUMIDISTAT CONTROLS (SEE MECH.).
13. INSTALL METAL FLASHING AT CONNECTION OF STONE WALL AND SIDING. SLOPE TO DRAIN AWAY FROM STRUCTURE.
14. REPLACE MISSING STONEMWORK. RE-POINT DAMAGED AREAS. SEAL ENTIRE STONE WALL.
15. SEAL EXISTING LOWER VENT TO MATCH EXISTING ADJACENT SURFACES.
16. INSTALL NEW WOODEN STAIRS AND RAILINGS TO MATCH EXISTING ON WEST SIDE OF HOUSE. SEE PHOTOS ON SHEET A5.
17. REINSTALL METAL DOWNSPOUT. DIRECT DOWNSPOUT EXTENSION 4 FEET TO DRAIN AWAY FROM FOUNDATION.
18. INSTALL NEW FLOORING AND WALL BASE.

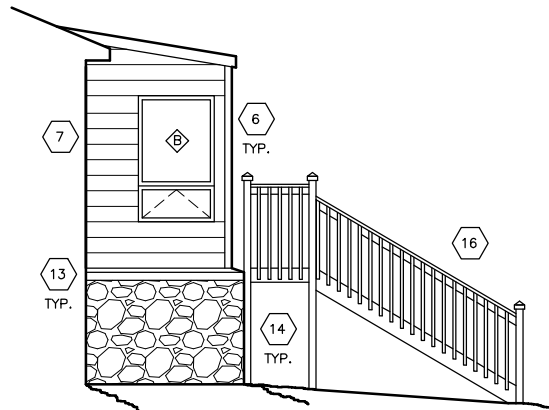
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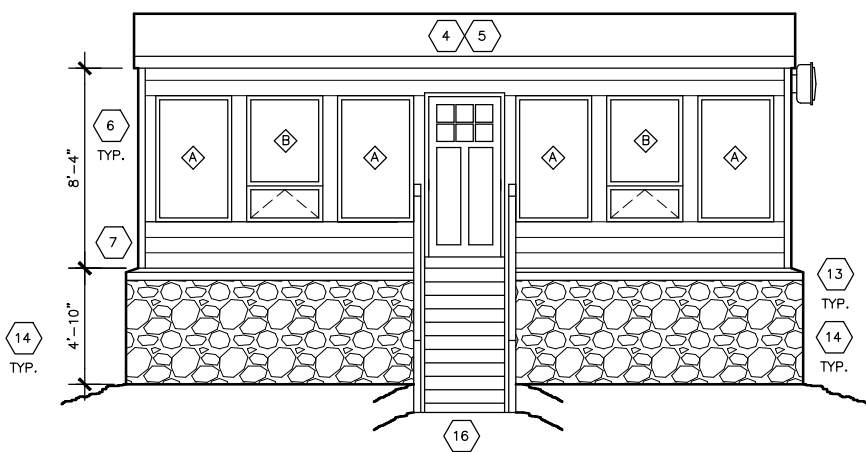


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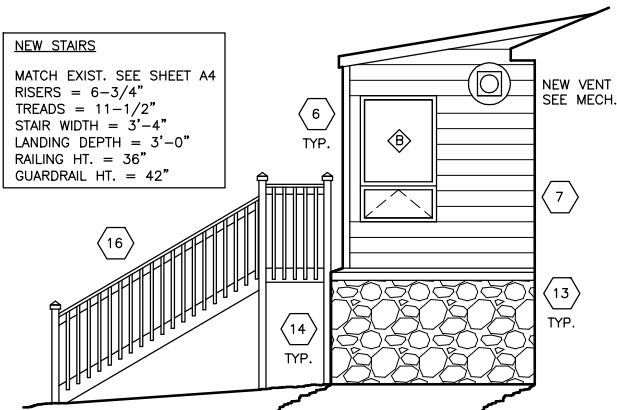
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A WEST ELEVATION
SCALE: 1/4" = 1'-0" D:\CAD\1702

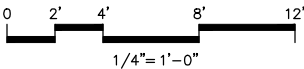


B SOUTH ELEVATION
SCALE: 1/4" = 1'-0" D:\CAD\1702



C EAST ELEVATION
SCALE: 1/4" = 1'-0" D:\CAD\1702

NEW STAIRS
MATCH EXIST. SEE SHEET A4
RISERS = 6-3/4"
TREADS = 11-1/2"
STAIR WIDTH = 3'-4"
LANDING DEPTH = 3'-0"
RAILING HT. = 36"
GUARDRAIL HT. = 42"



Number	Date	By	Description of Revisions







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EXTERIOR ELEVATIONS

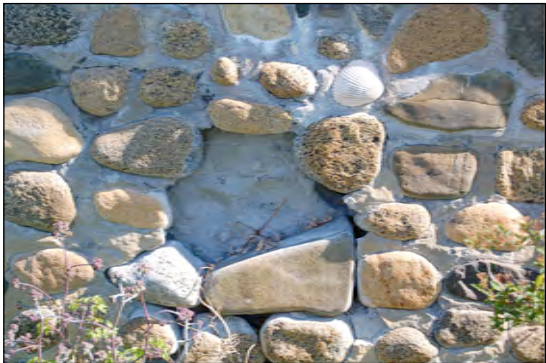
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Date AUGUST 18, 2017 Checked AER
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Sheet Number



EXISTING SOUTH FACE OF SUNROOM





-  REMOVE EXISTING WOODEN STORM DOOR.
-  REMOVE EXISTING WINDOWS AND TRIM.
-  REMOVE EXISTING WOOD SIDING AND ASSOCIATED TRIM.
-  REMOVE EXISTING CONCRETE STAIRS AND METAL RAILINGS.
-  REMOVE EXISTING METAL FLASHING AT STONE WALL AND SIDING.
-  REMOVE DOWNSPOUT. SALVAGE FOR REUSE.



EXISTING STONE WALL. (SHOWING MISSING STONES & GAPS IN GROUT – SEE NEW WORK)



EXISTING SUNROOM DETAILS

-  REMOVE EXISTING WINDOWS AND TRIM.
-  REMOVE EXISTING WOOD SIDING AND ASSOCIATED TRIM.
-  REMOVE EXISTING THROUGH-WALL VENT.
-  REMOVE EXISTING METAL FLASHING AT STONE WALL AND SIDING.







EXISTING EXTERIOR CONCRETE STAIRS

-  REMOVE EXISTING CONCRETE STAIRS AND METAL RAILINGS.



EXISTING SUNROOM DETAILS

-  REMOVE EXISTING WOODEN STORM DOOR.
-  REMOVE EXISTING WOOD SIDING AND ASSOCIATED TRIM.
-  REMOVE EXISTING METAL FLASHING AT STONE WALL AND SIDING.
-  REMOVE DOWNSPOUT. SALVAGE FOR REUSE.



NOT TO SCALE



8-18-2017

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Sheet Title
DEMOLITION WORK
EXIST. CONDITIONS
PHOTOS

Scale AS SHOWN (HALF SCALE AT 11X17)
Designed AER Drawn AER
Date AUGUST 18, 2017 Checked AER
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


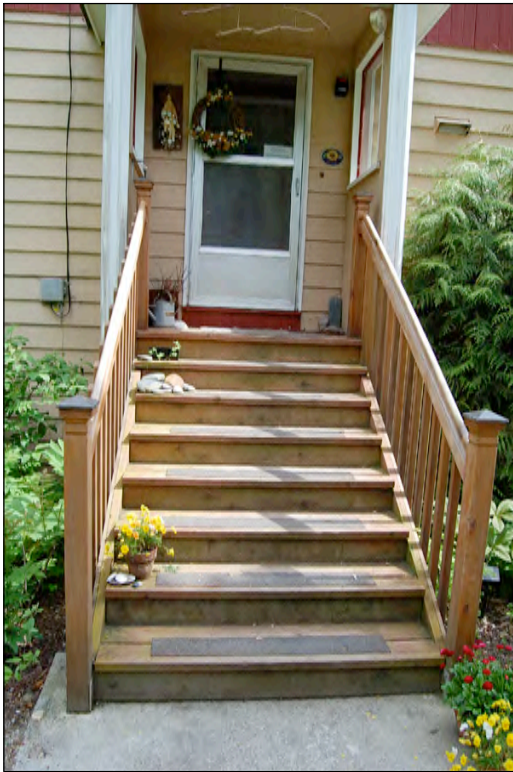
EXISTING CRAWL SPACE

 REMOVE EXISTING GROUND VAPOR BARRIER.



SUNROOM DETAILS

-  REMOVE EXISTING EXTERIOR WOOD DOOR, FRAME AND EXISTING HARDWARE. SALVAGE HARDWARE FOR REUSE.
-  REMOVE EXISTING WINDOWS AND TRIM.
-  REMOVE EXISTING INTERIOR T&G WOOD PANELING.



EXISTING WEST SIDE EXTERIOR STAIRS

NEW SOUTH STAIRS TO MATCH EXISTING WEST STAIRS, STYLE, DETAIL AND MATERIALS.



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CONSTRUCTION DOCUMENTS

**JENSEN-OLSON ARBORETUM
SUNROOM RENOVATION**

23035 Glacier Highway
Juneau, Alaska 99801







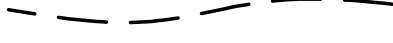

CBJ PROJECT NO. BE17-244

Number	Date	By	Description of Revisions

Sheet Title
**DEMOLITION WORK
EXIST. CONDITIONS
PHOTOS**

Scale AS SHOWN (HALF SCALE AT 11X17)
Designed AER Drawn AER
Date AUGUST 18, 2017 Checked AER
Approved By AER Job Number 1702

Sheet Number

SYMBOLS	
	CONSTRUCTION NOTE
	THERMOSTAT/HUMIDISTAT – ROOM
	FINNED PIPE
	REMOVAL/CONNECTION POINT
	HEATING SUPPLY
	CONTROLLER – DISCONNECT
	LOW VOLTAGE WIRING – BY ELEC.
	ISOLATING BALL VALVE – FULL PORT

FAN SCHEDULE							
EQUIPMENT	AREA SERVED	CFM	ESP, INCHES OF WATER	DESIGN MANUFACTURER AND MODEL	MIN. HP	VOLTS / PHASE	FEATURES AND ACCESSORIES
EF-1	CBJ ARBORETUM SUNROOM	500	2.5	GREENHECK, CW-090-VG	1/20	120V/ 1PH	DIRECT DRIVE VARI-GREEN CENTRIFUGAL SIDEWALL EXHAUST FAN. ALUMINUM HOUSING, BACKWARD INCLINED ALUMINUM WHEEL. CORROSION RESISTANT. FACTORY MOUNTED TRANSFORMER FOR VARI-GREEN CONTROL. LOW VOLTAGE THERMOSTAT/HUMIDISTAT (PN 475573) AND NEMA-1 DISCONNECT SWITCH. INLET GRILLE.

HEATING UNIT SCHEDULE			
EQUIPMENT	DESIGN MANUFACTURER	MODEL	CONTROLS/OPTIONS
FINNED PIPE, FP-1	SLANTFIN	HD-850 H-1 CORE	SINGLE-ROW, 700 BTU/HR/FT WATER RATING AT AVERAGE 170°F WATER TEMP. 3/4" COPPER TUBE WITH 3-1/4"x 3" ALUMINUM FINS. 1BR RATED. 8-1/2" HEAVY DUTY, HIGH CABINET, 16 GAGE FRONT / 20 GAGE BACK, SLOPING TOP. PROVIDE TUBE SUPPORTS AND CABINET ENDS (2).

MECHANICAL SPECIFICATIONS

SECTION 15010 – GENERAL MECHANICAL

1. WORK INCLUDED: The work consists of furnishing labor, equipment, and materials in accordance with the specifications or drawings, or both, together with any incidental items not shown or specified which can be reasonably inferred or taken as belonging to the work and necessary in good practice to provide a complete system described or shown as intended. Equipment installed shall be identical and of equal quality as specified.

2. CODES AND REGULATIONS: All work hereunder shall be strictly in conformance with 2012 International Building Codes, CBJ Title 19 Requirements, 2015 National Electric Code and applicable codes, and regulations. All electrical equipment shall bear the U.L. label.

3. APPROVALS: Trade names and catalog numbers of manufactured products included herein are intended to indicate the type, size, and grade of quality of equipment and materials required and such equipment and materials are approved for installation, subject to full compliance with the specifications. Requests for approval of other manufacturers than those specified must be accompanied by complete descriptions including overall dimensions, performance data, and, if catalog material, identification of specific products or items proposed. Not less than four copies of all data required shall be furnished to the Owner for approval.

4. DATA REQUIRED: Furnish approval data for items where data is required. Not less than four copies of such data shall be furnished the Owner for approval. Other or additional data, as the Owner may deem necessary, shall also be provided when requested. Approval of the data shall not eliminate responsibility for compliance with the drawings or specifications unless specific attention has been called in writing to proposed deviations at the time of transmittal of the data and such deviations have been approved, nor shall it eliminate the responsibility for freedom of errors of any sort in the data.

5. AS-BUILT DRAWINGS: All changes shall be noted on a set of blue-line prints as data for later preparation of as-built drawings. The prints marked for as-built conditions shall be delivered to the Owner prior to the Contractor's application for final payment.

6. ELECTRICAL WORK: See Electrical Documents.

7. OPERATING AND MAINTENANCE DATA: The following data shall be provided to the Owner for approval prior to the request for final inspection. Required are three copies and one copy of electronic data of manufacturers' instructions for operation and maintenance of all mechanical equipment and specialties, including replacement parts lists, capacity curves or charts, equipment data sheets, manufacturers' literature on the equipment, and as-built wiring diagrams and control drawings, all suitable for side binding to 8-1/2 x 11 inch size. All data not applicable to the job is to be crossed out or deleted.

8. TESTING AND BALANCING VENTILATION SYSTEMS: At the completion of the work, the exhaust fan is to be measured and recorded over its entire range of variable speed; record low and high air volumes. The testing and measuring will be done with instruments by persons or a firm experienced in the work, and approval of the personnel performing the measurement must be obtained previous to adjustment from the Owner. A resume' of the experience and background of the personnel proposed to do the adjusting is required. Logs will be recorded of all of the measurement data and given to the Owner for approval at the completion of the adjustment.

SECTION 15050 – BASIC MATERIALS AND METHODS

1. HEATING PIPE AND FITTINGS: Above ground to be hard-drawn copper tubing, FS WW-T-799d, Type L, Class 1, with copper solder fittings or press fit fittings.

2. FLOOR, WALL AND CEILING PLATES: Nickel-plated or stainless steel, of sufficient size to completely cover pipe sleeve or hole, and fit tightly to surface. Wall and ceiling plates secured to pipe.

4. WALLS, FLOORS, AND CEILING PENETRATIONS: In rated walls, floors, and ceilings, all ducts, piping, conduit, and penetrations by equipment furnished under this division through all one-hour or greater rated walls, floors, ceilings, and partitions sealed airtight with fire, equivalent to Dow Corning Fire Stop foam or Fyre Putty sealant. Other products may be used upon approval. In non-rated walls, floors, and ceilings, all ducts, piping, conduit, and penetrations by equipment furnished under this division through non-rated walls, floors, ceilings, and partitions installed with a neat-appearing penetration. Insulated pipes with insulation butted to wall, floor, or ceiling. Uninsulated pipes, ducts, or conduit sealed with silicone or cement.

5. PIPE SUPPORTS: Horizontal piping with individual hangers with supports spaced not more than 10 feet on center and not more than 2 feet either side from each change in direction. Supports for copper tubing 1-1/2 inch and smaller, spaced not more than 6 feet and 1 foot from each change in direction.

SECTION 15250 – INSULATION

1. PIPE AND EQUIPMENT INSULATION: Insulate all new heating piping. All piping insulation must have a flame spread/smoke developed rating of 25/50 or less per ASTM E-84. Use mineral fiber, 1 inch thick. FS HH-I-558b, Form D, Type III, Class 12, with all-purpose flame retardant jacket.

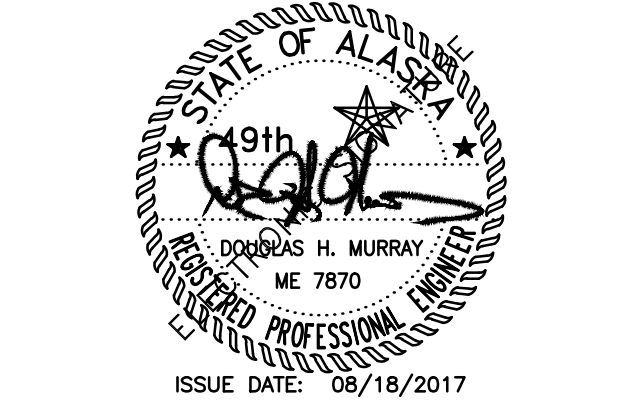
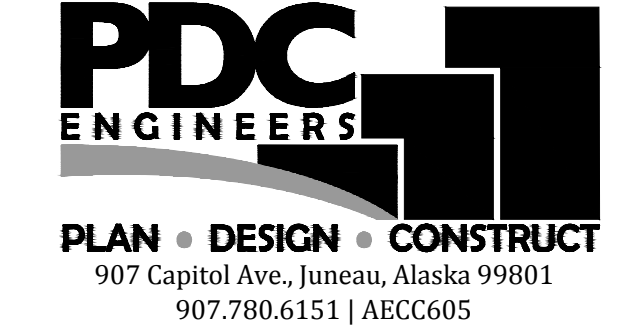
SECTION 15800 – AIR DISTRIBUTION

1. EXHAUST FAN: Wall mounted type with mounting frame. Direct drive type with speed control and thermostat/humidistat mounted on wall. Adjustable backdraft damper and inlet grille. O&M data required. Thermostat/humidistat to control operation of fan. Fan volume adjustable via programming of Vari-Green controller. Thermostat/humidistat and disconnect provided hereunder and installed under Electrical division.

2. INLET GRILLE: Aluminum inlet grille with horizontal vanes. Provide with fan or separately – coordinate size with fan inlet. Provide duct extension as necessary for attaching grille to backdraft damper.

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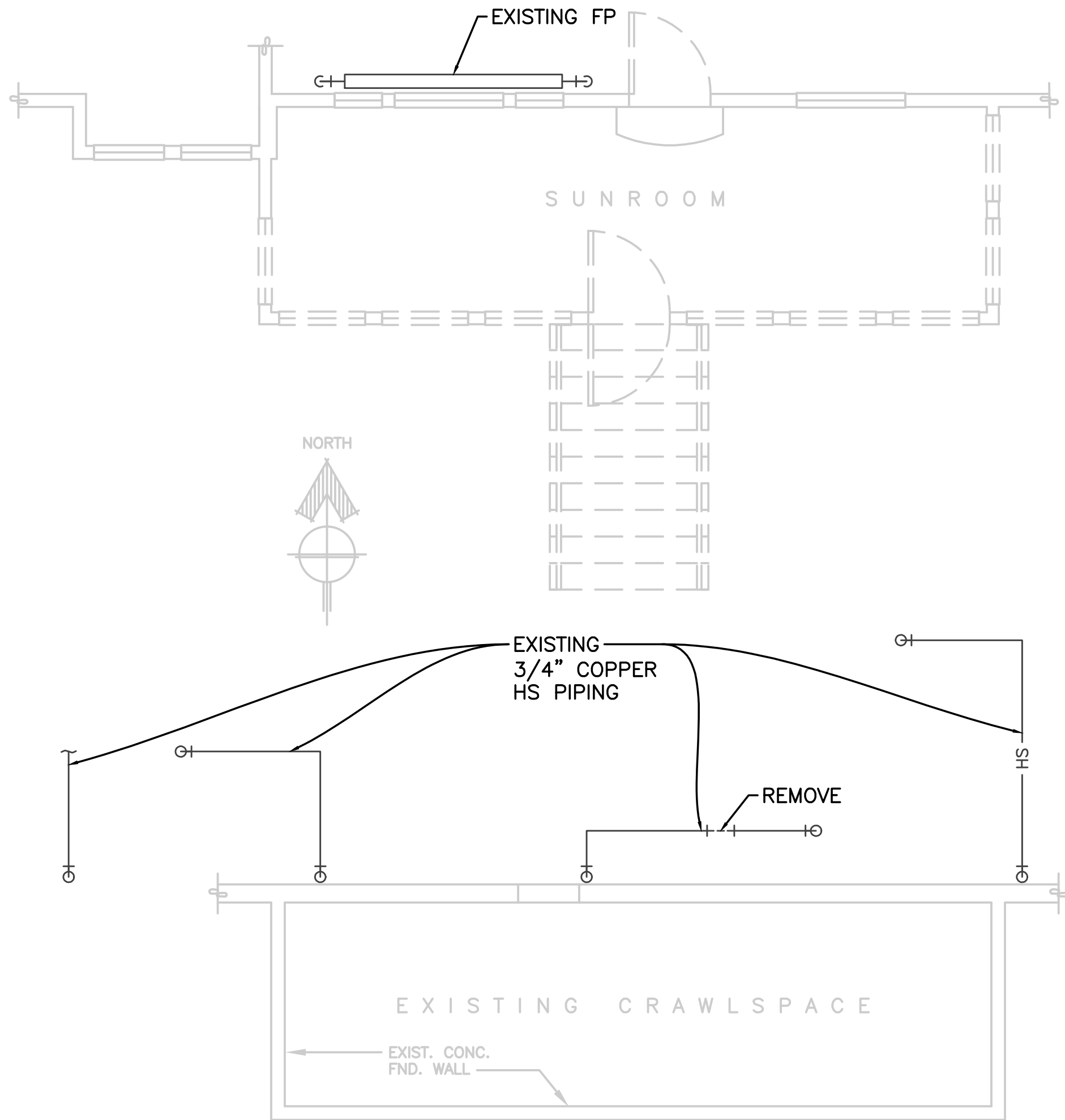


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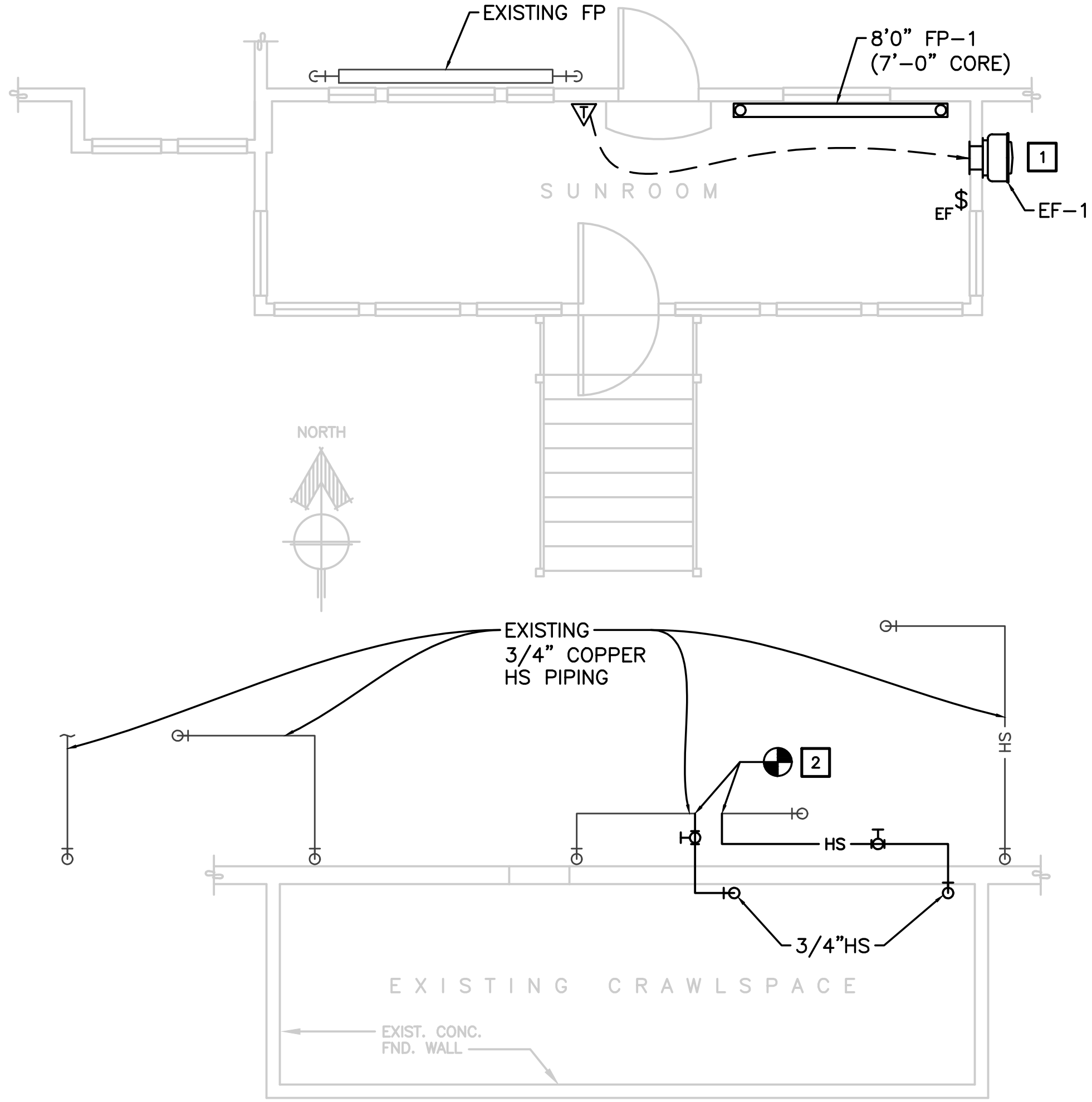
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23035 Glacier Highway
Juneau, Alaska 99801
CBJ PROJECT NO. BE17-244

Number	Date	By	Description of Revisions

Sheet Title			
SYMBOLS, SCHEDULES, AND SPECIFICATIONS			
Scale AS SHOWN (HALF SCALE AT 11X17)			
Designed AER	Drawn DMC		
Date AUGUST 18, 2017	Checked DM		
Approved By DM	Job Number 1702		



1 MECHANICAL DEMO PLAN
1/4"=1' SF 48
SCALE: 0 2' 4' 8'



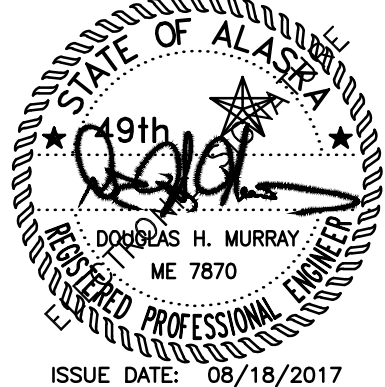
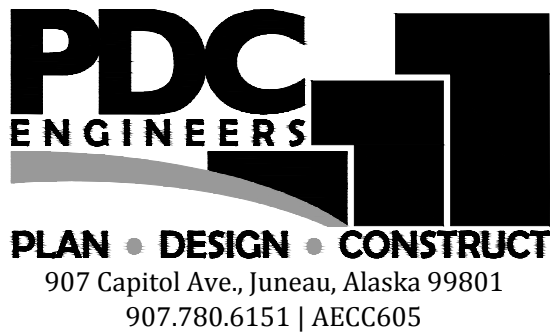
2 NEW MECHANICAL PLAN
1/4"=1' SF 48
SCALE: 0 2' 4' 8'

CONSTRUCTION NOTES:

- 1 ALIGN TOP OF EF-1 WALL OPENING WITH TOP OF ADJACENT WINDOW.
- 2 HEATING SUPPLY FOR FP-1 TO BE CONNECTED TO EXISTING FIN PIPE HEATING SUPPLY.

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CONSTRUCTION DOCUMENTS

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CBJ PROJECT NO. BE17-244

Number	Date	By	Description of Revisions

Sheet Title

FLOOR PLANS - MECHANICAL

Scale AS SHOWN (HALF SCALE AT 11X17)

Designed AER Drawn DMC

Date AUGUST 18, 2017 Checked DM

Approved By DM Job Number 1702

Sheet Number

LEGEND & ABBREVIATIONS

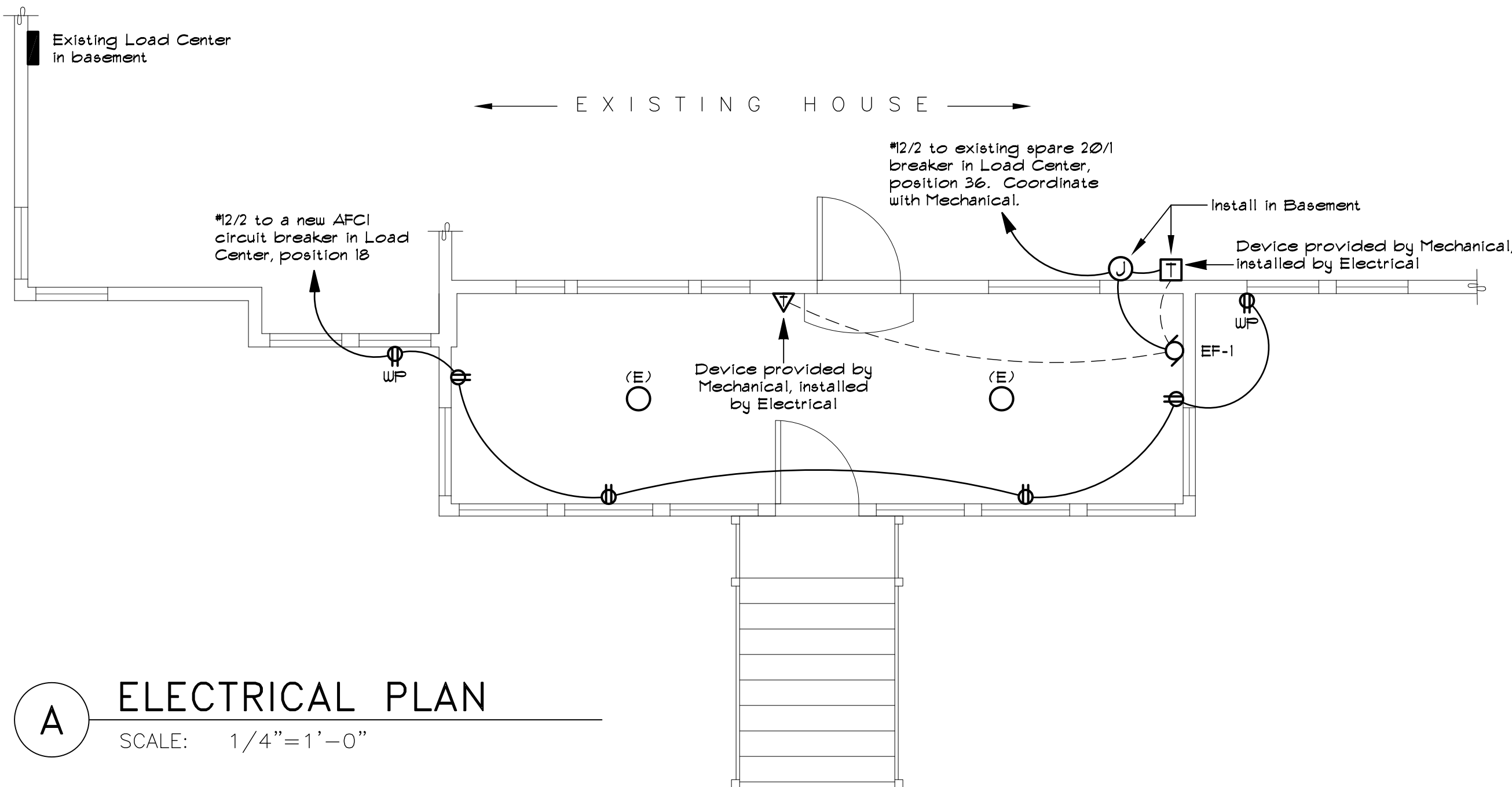
	CABLE w/ #12 AWG CONDUCTORS, UON. SLASHES DENOTE QUANTITY OF CONDUCTORS IF NOT TWO.
	LOW VOLTAGE WIRING - PER MANUFACTURER'S REQUIREMENT. SEE MECHANICAL
	DUPLEX RECEPTACLE: 18" AFF, UON
	SINGLE POLE SWITCH: 48" AFF, UON
	PILOT LIGHT SWITCH: 48" AFF, UON
	DOWNLIGHT
	JUNCTION BOX
	MOTOR CONNECTION
	LOAD CENTER
	TRANSFORMER/CONTROLLER - SEE MECHANICAL
	LINE VOLTAGE THERMOSTAT/HUMIDISTAT
AFCI	ARC FAULT CIRCUIT INTERRUPTER
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
(E)	EXISTING, TO REMAIN
EF	EXHAUST FAN
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
GND	GROUND
LTG	LIGHTING
(N)	NEW EQUIPMENT OR DEVICE
(R)	EXISTING, TO BE RELOCATED OR REPLACED
REC	RECEPTACLE
UON	UNLESS OTHERWISE NOTED
WP	WEATHERPROOF
(X)	EXISTING, TO BE REMOVED

NOTES and SPECIFICATIONS

- Provide all work as shown on the drawings and described in the specifications and notes for a complete and functional installation. Unless otherwise noted, all material shall be of new manufacture and of the manufacturer's standard construction. All material shall be approved by Underwriters Laboratories (UL) and so noted.
- All work shall comply with the latest approved editions of:
The National Electrical Code (NEC) as modified by CBJ Title 19
The National Fire Protection Association Codes (NFPA)
The International Building Code (IBC)
The Uniform Federal Accessibility Standards (UFAS)
All applicable Federal, State and Local regulations
- Provide submittal data for the circuit breaker, conductors/cables, boxes, devices and covers.
- Provide two sets of as-built drawings at project completion. Minimize and seal penetrations of the vapor barrier caused by the electrical installation. Label junction boxes, controls, etc. Provide a revised circuit directory for the existing load center.
- All conductors shall be copper. Conductors shall have type THHN/THWN insulation for inside work and type XHHW-2 for exterior work. Type MC or NM cable is acceptable for interior work where approved by the local authority, the Owner and the NEC.
- Boxes shall be steel or plastic with appropriate plaster rings. All wiring devices shall be tamper-resistant, specification grade, screw connected, white, with matching white nylon plates. Exterior receptacles shall be GFCI.
- Ensure all control devices are mounted no higher than 48" above the finished floor to comply with the ADA. Also ensure receptacles are mounted not less than 15" above the finished floor.
- Additional Connected Load for the facility is 12 kVA (100 Amperes). Additional Demand Load for the facility is 12 kVA (100 Amperes).

SHEET NOTES

- Remove all electrical outlets, telephone jacks, switches and thermostats that are located in interior walls to be removed or walls where a conflict with new work exists. If utilities are not to be extended, cap in a safe manner in accordance with accepted industry standards.
- Provide connection to all receptacles and mechanical devices and equipment shown. Include starters, as noted, associated with mechanical equipment. Refer to the tag notes for circuiting.
- Provide connection to the new exhaust fan and controls as shown. Include wall mounted thermostats, as noted, associated with ventilation equipment.
- Mount the new exterior GFCI receptacles horizontally, centered within the siding, and equip with weatherproof covers.



A ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

Number	Date	By	Description of Revisions

Sheet Title	LEGEND, NOTES & SPECIFICATIONS, ELECTRICAL PLAN, SHEET NOTES
Scale	AS SHOWN (HALF-SCALE AT 11 X 17)
Designed	PG
Drawn	AER/PG
Date	AUGUST 18, 2017
Checked	PG
Approved By	PG
Job Number	1702

Sheet Number